



camden
council


Camden Council Planning Proposal

Housekeeping Amendment to SEPP (Sydney Region Growth Centres) 2006

Version 1
June 2020

 70 Central Ave,
Oran Park NSW 2570

 mail@camden.nsw.gov.au

 PO Box 183, Camden 2570

 camden.nsw.gov.au

 4654 7777

 4654 7829

 DX 25807

 ABN: 31 117 341 764

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Executive Summary

The NSW Department of Planning, Industry and Environment (DPIE) introduced the *State Environmental Planning Policy (Sydney Region Growth Centres) (Growth Centres SEPP)* in 2006. In 2007, *Appendix 1 – Oran Park and Turner Road Precinct (Appendix 1)* was inserted as an appendix to the Growth Centres SEPP. In 2013, *Appendix 9 – Camden Growth Centres Precinct (Appendix 9)* was introduced to cover all of the remaining zoned precincts within the South West Growth Area (SWGA) (excluding the Oran Park and Turner Road Precinct) located within the Camden Local Government Area (LGA).

There have been several amendments to *Appendix 1* and *Appendix 9* since their insertion, however there has never been a housekeeping review of these appendices. This Planning Proposal seeks to amend clauses contained within *Appendix 1 and Appendix 9* of the *Growth Centres SEPP* and associated maps.

Camden Council resolved on the 26 May 2020 to submit the Planning Proposal for the Housekeeping Amendment to the *Growth Centres SEPP* to the NSW Department of Planning, Industry and Environment (DPIE) for a Gateway Determination.

Upon receiving a positive Gateway Determination, this Planning Proposal will be placed on public exhibition to obtain community feedback.

Introduction

This Planning Proposal explains the intent of, and justification for, numerous proposed amendments to the clauses and maps associated with *Appendix 1* and *Appendix 9* of the *Growth Centres SEPP*. The amendments are proposed to resolve minor errors, anomalies, improve the readability of this planning policy, and to deliver better urban design outcomes in the South West Growth Area (SWGA) within the Camden LGA.

The Planning Proposal has been prepared in accordance with Section 3.33 of the Environmental Planning and Assessment Act 1979 and guidelines published by the NSW Department of Planning, Industry and Environment (DPIE), namely '*A guide to preparing Planning Proposals*' to ensure all matters requiring consideration are appropriately addressed.

Background

The NSW DPIE introduced the *Growth Centres SEPP* in 2006. This Environmental Planning Instrument (EPI) sets the statutory planning controls to facilitate efficient and environmentally sensitive development across the North West Growth Area (NWGA) and SWGA, and to deliver high quality urban design outcomes across all precincts.

Within the Camden LGA there are two precincts included as Appendices to the *Growth Centres SEPP*:

- *Appendix 1 - Oran Park and Turner Road Precinct* was inserted in 2007 as part of Amendment No.1. The Oran Park and Turner Road Precinct includes the suburbs of Oran Park, Gregory Hills, part of Cobbitty and part of Gledswood Hills.
- *Appendix 9 - Camden Growth Centres Precinct* was inserted in 2013 as part of Amendment No. 211 to the Growth Centres SEPP. The Camden Growth Centres Precinct includes the suburbs of East Leppington, Leppington and Catherine Fields (part) and future land release areas of Rossmore, Catherine Fields, Catherine Fields North, Pondicherry, Lowes Creek Maryland and South Creek West.

There have been several amendments to the clauses and maps pertaining to *Appendix 1* and *Appendix 9* since their inclusion in the *Growth Centres SEPP*. These have included:

- Correcting heritage listed items;
- Inserting new controls for the size of secondary dwellings;
- Replacing the definition for 'net development area';
- Adding permissible land uses to the R2 Low Density Zone; and
- Various zone mapping amendments to facilitate development proposals.

A comprehensive housekeeping review of these Appendices was considered necessary as the built form of these precincts has dramatically changed due to the scale and rapid speed of urban development. This has resulted in a number of anomalies including:

- Incorrect street names being referenced;
- Zoning maps not reflecting existing land uses;

- The application of land zoning not aligning with lot or road boundaries; and
- The Camden and Campbelltown LGA boundaries not being accurately reflected in the Growth Centres SEPP.

Site Location

The land subject to this Planning Proposal is Camden LGA's SWGA, *Appendix 1* and *Appendix 9* precincts. **Figure 1** identifies the precincts to which this Planning Proposal applies. It is worth noting that this Planning Proposal does not propose to correct anomalies within the Leppington Town Centre Precinct. These will be captured under the Leppington Town Centre Review that is currently being led by Camden Council in partnership with Liverpool City Council.

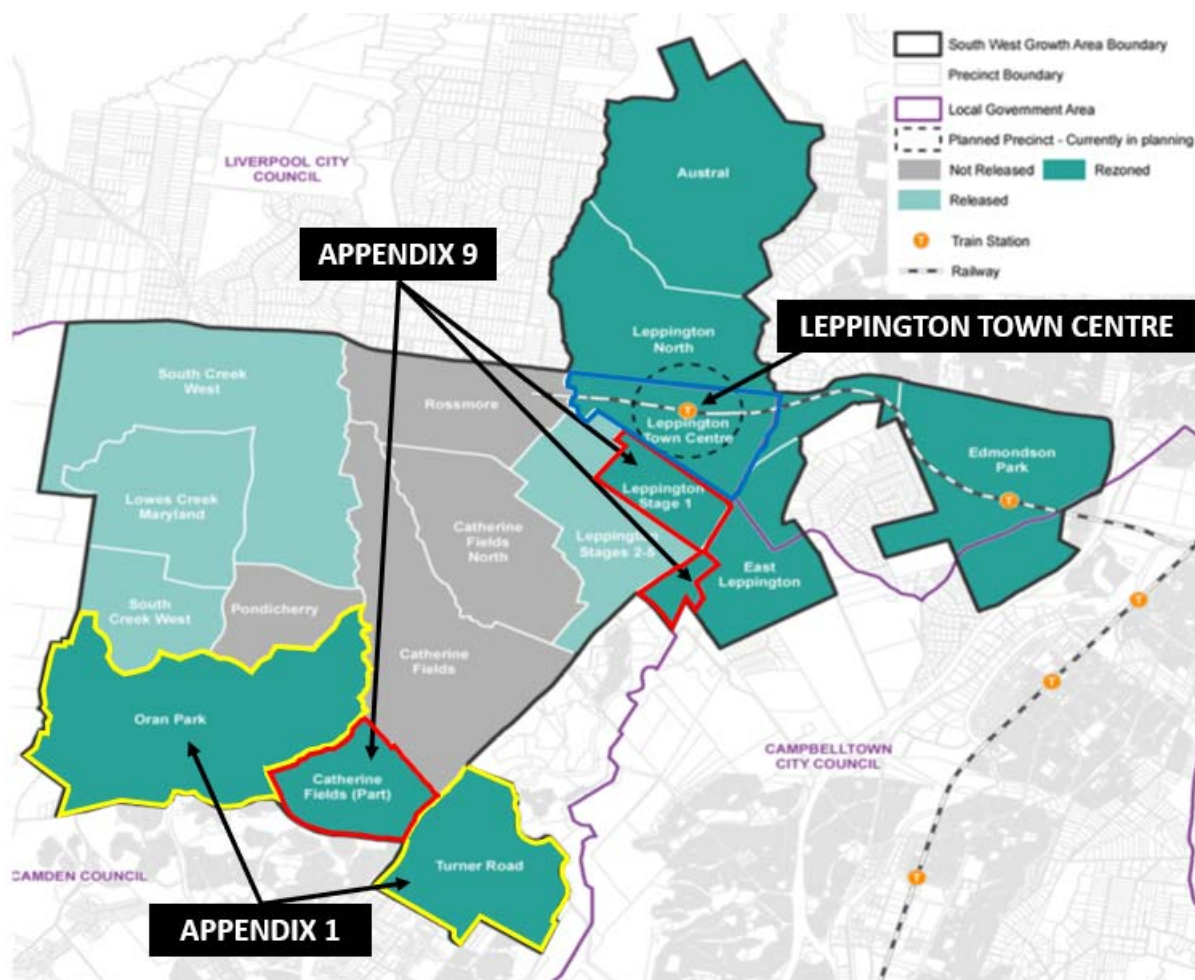


Figure 1: Subject Site Context map

Part 1 – Objectives and Intended Outcomes

The objective of this Planning Proposal is to amend the *State Environmental Planning Policy (Sydney Region Growth Centres) 2006* to improve its readability, update superseded information, correct anomalies, and deliver better design outcomes across Camden LGA's SWGA.

Part 2 – Explanation of Provision

To achieve the proposed objective of improving the overall operation and accuracy of *Appendix 1* and *Appendix 9*, this Planning Proposal seeks to amend the *Growth Centres SEPP* as shown in **Table 1 - 4**. A detailed explanation and justification for each amendment is provided in **Appendix 5**.

Matter 1: Zoning for Sydney Water Infrastructure

| Amendment No. | Appendix maps to be changed | Name of item | Proposal | Change |
|---------------|-----------------------------|---------------------------------|---|---|
| 1 | Appendix 1 and Appendix 9 | Zoning for water infrastructure | This item seeks to rezone several sites across Camden LGA's SWGA from their existing zone to SP2 – Infrastructure to provide certainty to the community about the future use of the subject land. | <u>Land Zoning Maps</u> <ul style="list-style-type: none"> • LZN 003 • LZN 009 • LZN 013 |

Table 1: Matter 1 Amendments table

Matter 2: Review of Building Heights around the curtilage of Oran Park House (Catherine Park House)

| Amendment No. | Appendix maps to be changed | Name of item | Proposal | Change |
|---------------|-----------------------------|---|---|--|
| 2. | Appendix 9 | Height restriction to protect heritage view lines to Oran Park House (Catherine Park House) | This item seeks to amend the Height of Building map to remove the anomaly, and reinstate an accurate interpretation, of the heritage significance of Oran Park House (Catherine Park House), by clarifying which view lines must be maintained and respected in accordance with the applicable Heritage Conservation Management Plan. | <u>Height of Buildings maps:</u> <ul style="list-style-type: none"> • HOB 004 |

Table 2: Matter 2 Amendments table

Matter 3: Miscellaneous Administrative amendments to instrument clauses

| Amendment No. | Appendix clauses to be changed | Name of item | Proposal | Change |
|---------------|--------------------------------|---|---|--|
| 3. | Appendix 1 and Appendix 9 | Review of clause 4.1 (4) Minimum subdivision lot size. | This item seeks to update subclause 4.1(4) to align with recent legislative changes made to the Standard Instrument in 2018 and to provide clarity that minimum subdivision does not apply to strata and community title subdivision. | Add new sub-clauses (a) and (b) to correct the operation of clause 4.1(4) of Appendix 1 and 9 to reflect current legislation. |
| 4. | Appendix 1 and Appendix 9 | Review of Part 6 Additional Local Provisions. | This item seeks to add a local provision for studio dwellings (clause 6.7 in <i>Appendix 1</i> , and 6.8 in <i>Appendix 9</i>). | A new clause to provide additional clarification on the design outcomes for studio dwellings. |
| 5. | Appendix 1 | Inconsistencies between <i>Appendix 1</i> and <i>Appendix 9</i> . | This item seeks to resolve inconsistencies between the operations of <i>Appendix 1</i> and <i>Appendix 9</i> by ensuring Part 1 and Part 2 of these Appendices are the same. | Amend/Add/delete the following clauses in Appendix 1: <ul style="list-style-type: none"> • Amend clause 1.2 – Aims of Precinct Plan • Add clause 1.5 – Notes • Amend clause 1.8 – Repeal of other local planning instruments applying to land • Amend clause 1.9 (3) – Application of SEPP. • Delete sub-clause 3 from clause 2.6 – Subdivision – consent requirements • Amend clause 2.8 – Temporary use of land. |

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| 6. | Appendix 1 | Review of clause 4.3 Height of Buildings. | This item seeks to remove all references to “finished ground level” and replace with “existing ground level” to align with the definition for Building height (or height of building). | Replace all references to “finished ground level” in clause 4.3 replace with “existing ground level”. |
| 7. | Appendix 1 | Review of clause 4.3 Height of Buildings. | This item also seeks to amend subclause (5) by replacing street names and improving the readability of this subclause. | Replace Badgally Road with Gregory Hills Road; and replace East West Road with Dick Johnson Drive. Remove “to land within zone RE1 Public Recreation or Zone RE2 Private Recreation” and replace with “to land fronting Zone RE1 Public Recreation or Zone RE2 Private Recreation” |
| 8. | Appendix 1 | Review clause 5.4 Controls relating to miscellaneous permissible uses. | This item seeks to format clause 5.4 of <i>Appendix 1</i> by inserting and bolding the permissible land use at the start of each subclause and by adding the Note under Bed and Breakfast Accommodation under <i>Appendix 9</i> to <i>Appendix 1</i> . | Clause 5.4 of <i>Appendix 1</i> is proposed to be reformatted to be a “like for like” of Clause 5.4 of <i>Appendix 9</i> . |
| 9. | Appendix 9 | Review Clause 4.1AF Exceptions to minimum lot sizes for dwelling house on small lots. | This item seeks to remove unnecessary words to make subclause 4.1AF (1) of <i>Appendix 9</i> more legible. | Replace “equal to or greater than 200m ² but” with “but not less than 200m ² ”. |

Table 3: Matter 3 Amendments table

Matter 4: Miscellaneous Amendments to instrument maps

| Amendment No. | Appendix maps to be changed | Name of item | Proposal | Change |
|---------------|-----------------------------|-----------------------------|--|---|
| 10. | Appendix 1 | Growth Centres SEPP mapping | This item seeks to snap zoning to lot boundaries to remove instances of unzoned or incorrectly zoned land and to amend zoning to reflect current uses. | Amend the following Land Zoning maps: <ul style="list-style-type: none"> • LZN 004 • LZN 008 • LZN 009 |

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| 11. | Appendix 1 | Realignment of the Camden and Campbelltown Local Government Area boundaries | This item seeks to realign the Local Government Area boundaries between Camden and Campbelltown Local Government Areas to be consistent with Amendment No. 39 to the Camden Local Environmental Plan 2010. | Amend the following Land Application map: <ul style="list-style-type: none"> LAP 008 |
| 12. | Appendix 9 | Height restriction of Ingleburn Road, Leppington | This item seeks to remove the previous 12m height restriction attributed to Lot 76, DP 1180577 as it is no longer applicable to the development of the land for a road. | Amend the following Height of Buildings maps: <ul style="list-style-type: none"> HOB 008 |

Table 4: Matter 4 Amendments table

Part 3 – Justification

This section addresses the need for the proposed amendments and details why the Planning Proposal is the best approach.

3.1 Section A – Need for the Planning Proposal

Q1. Is the planning proposal a result of any strategic study or report?

The Planning Proposal is a result of Camden Council’s decision to initiate a review of *Appendix 1* and *Appendix 9* to the *Growth Centres SEPP*. This review aimed to deliver better design outcomes within Camden’s SWGA by improving clarity of clauses and remove mapping anomalies.

Q2. Is the planning proposal the best means of achieving the objectives or intended outcomes, or is there a better way?

The Planning Proposal is the best way to achieve the intended outcomes and objectives. The expedited amendments of environmental planning instruments pathway outlined in section 3.22 of the *NSW Environmental Planning and Assessment Act 1979* was considered inappropriate for this Planning Proposal because it seeks to realign boundaries, rezone land, remove height restrictions, remove the ambiguity of controls in addition to correcting minor formatting issues.

3.2 Section B – Relationship to Strategic Planning Framework

Q3. Is the planning proposal consistent with the objectives and actions of the applicable regional, sub-regional or district plan or strategy (including any exhibited draft plans or strategies)?

Yes, the objectives and directions of the Greater Sydney Region Plan (Region Plan) & Western City District Plan (District Plan) applicable to the Planning Proposal have been addressed in **Appendix 1** of this report.

Q4. Is the planning proposal consistent with a council's local strategy or other local strategic plan?

Camden Community Strategic Plan

The Planning Proposal is consistent with the following Key Directions of the *Camden Community Strategic Plan*:

- *Key Direction 1: Actively Managing Camden LGA's Growth.*

Camden Local Strategic Planning Statement

The Planning Proposal is consistent with the following Local Priorities of the Camden Local Strategic Planning Statement (LSPS):

- Local Priority I1: Aligning infrastructure delivery with growth.
- Local Priority L1: Providing housing choice and affordability for Camden's growing and changing population.
- Local Priority L2: Celebrating and respecting Camden's proud heritage.

Further comment on the consistency of the proposed provisions with the LSPS are outlined in **Appendix 1** of this report.

Q5. Is the planning proposal consistent with applicable State Environmental Planning Policies?

The State Environmental Planning Policies (SEPPs) that are relevant to this Planning Proposal are identified below:

- SEPP (Remediation of Land)
- SEPP (Infrastructure) 2007
- SEPP (State and Regional Development) 2011
- SEPP (Sydney Region Growth Centres) 2006
- SEPP (Vegetation in Non-Rural Area) 2017

The relevant SEPPs including deemed SEPPs have been addressed in **Appendix 2** of this report. The Planning Proposal is considered consistent with these SEPPs, including deemed SEPPs.

Q6. Is the planning proposal consistent with applicable Ministerial Directions (s9.1 Directions)?

The s9.1 Direction applicable to the Planning Proposal have been addressed in **Appendix 3** of this report. The Planning Proposal is considered consistent with the applicable Directions.

3.3 Section C – Environmental, Social and Economic Impact

Q7. Is there any likelihood that critical habitat or threatened species, populations or ecological communities, or their habitats, will be adversely affected as a result of the proposal?

No. The Planning Proposal is not proposing amendments to the *Growth Centres SEPP* that will have adverse impacts on ecological communities, threatened species or critical habitat.

Q8. Are there any other likely environmental effects as a result of the planning proposal and how are they proposed to be managed?

The Planning Proposal seeks to amend the *Growth Centres SEPP* map to remove the height restriction along Dunstan Street in Oran Park. Removing this imposed height restriction will remove a historic mapping anomaly and reinstate the accurate heritage view lines to, and from, Oran Park House (Catherine Park House) that is required to be protected as stated in the Heritage Conservation Management Plan for Oran Park House (Catherine Park House).

Q9. Has the planning proposal adequately addressed any social and economic effects?

The Planning Proposal is not supported by a social or economic assessment. The Planning Proposal is unlikely to have any negative social and/or economic impacts.

The introduction of local provisions for studio dwellings into a clause within the *Growth Centres SEPP* offers additional clarity to the intended design and location of studio dwellings that the current definition for studio dwelling does not provide. The promotion of these better design outcomes seeks to encourage more diverse and affordable housing choices within Camden's SWGA that will deliver positive social and economic outcomes for residents and the local community.

3.4 Section D – State and Commonwealth Interests

Q10. Is there adequate public infrastructure for the planning proposal?

Yes, this Planning Proposal seeks to facilitate the rezoning of land owned by Sydney Water as outlined in **Appendix 4** of this report to ensure this service provider can deliver vital water and sewerage servicing to support urban development in Camden's SWGA.

Q11. What are the views of state and Commonwealth public authorities consulted in accordance with the Gateway determination?

Consultation with public authorities will occur post-gateway as identified in the Gateway Determination.

Part 4 – Mapping

The following maps will need to be amended to support the planning proposal:

- Land Zoning Map – Sheet LZN 003
- Land Zoning Map – Sheet LZN 004
- Land Zoning Map – Sheet LZN 008

- Land Zoning Map – Sheet LZN 009
- Land Zoning Map – Sheet LZN 013
- Height of Building Map – Sheet HOB 004
- Height of Building Map – Sheet HOB 008
- Land Application Map – Sheet LAP 008

The maps to be amended are included in the Amendments Table in **Appendix 5**.

Part 5 – Community Consultation

The Planning Proposal will be publicly exhibited in accordance with the gateway determination. A notice advising of the public exhibition period and copy of the exhibition material will be placed on Council's website. It is also intended to have copies of the exhibition available at:

- Council Administrative Centre, 70 Central Avenue, Oran Park (Hard Copy)
- Narellan Library, Queen Street, Narellan (Hard Copy);
- Camden Library, John Street, Camden (Hard Copy);
- Camden Council website (Electronic Copy).

Part 6 – Project Timeline

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| Anticipated commencement date (date of Gateway Determination) | August 2020 |
| Timeframe for government agency consultation (pre and post exhibition as required by Gateway Determination) | September 2020 |
| Commencement and completion dates for public exhibition period | September 2020 (28 days) |
| Timeframe for consideration of submissions | October 2020 |
| Post exhibition report to council | November 2020 |
| Date of submission to the department to finalise the Growth Centres SEPP | TBC |
| Anticipated date RPA will make the plan (if delegated) | TBC |
| Anticipated date RPA will forward to the department for notification | TBC |

Part 7 – Conclusion

This Planning Proposal seeks to amend the *Growth Centres SEPP* to improve its readability, update superseded information, correct anomalies and deliver better design outcomes across Camden's South West Growth Area.

The Planning Proposal has been prepared with consideration of key strategic documents, including the Greater Sydney Region Plan, the Western City District Plan, the Community Strategic Plan and the Camden Local Strategic Planning Statement.

It is considered that the proposal demonstrates sufficient planning merit to proceed to Gateway Determination as it:

- Aligns with the strategic directions and objectives of the key strategic documents, including the Greater Sydney Region Plan, the Western City District Plan, the Camden Community Strategic Plan and the Camden Local Strategic Planning Statement.
- Amendments proposed in this Planning Proposal seek to deliver better urban design outcomes in Camden's SWGA by ensuring the application of *Appendix 1 – Oran Park and Turner Road Precinct* is consistent with *Appendix 9 – Camden Growth Centres Precinct*.
- The proposed amendments are considered to have minor impacts on existing landowners and the broader Camden community.
- Correcting anomalies will improve the readability and clarity for users of *Appendix 1* and *Appendix 9* to the *Growth Centres SEPP*.

Part 8 – Appendices

Appendix 1: Greater Sydney Region Plan - Directions and Objectives & Western City District Planning Priorities and Objectives

Appendix 2: Consistency against State Environmental Planning Policies

Appendix 3: Consistency against s9.1 Directions

Appendix 4: Sydney Water Sites – Zoning Comparison Table.

Appendix 5: Proposed Amendments Table

Appendix 6: LGA Boundary Land Application Map

Appendix 7: Oran Park House (Catherine Park House) Heritage Conservation Management Plan

Appendix 8: Camden Local Planning Panel Minutes – 21 April 2020

Appendix 9: Camden Council Report and Minutes – 26 May 2020

Appendix 1: Greater Sydney Region Plan - Directions and Objectives & Western City District Planning Priorities and Objectives

| Greater Sydney Region Plan - Directions and Objectives | | |
|---|--------------------|--|
| Objective | Consistency | Comment |
| Infrastructure and Collaboration | | |
| Objective 1: Infrastructure supports the three cities | N/A | |
| Objective 2: Infrastructure aligns with forecast growth – growth infrastructure compact | N/A | |
| Objective 3: Infrastructure adapts to meet future needs | N/A | |
| Objective 4: Infrastructure use is optimised | N/A | |
| Objective 5: Benefits of growth realised by collaboration of governments, community and business | N/A | |
| Liveability | | |
| Objective 6: Services and infrastructure meet communities changing needs | N/A | |
| Objective 7: Communities are healthy, resilient and socially connected. | N/A | |
| Objective 8: Greater Sydney's communities are culturally rich with diverse neighbourhoods | N/A | |
| Objective 9: Greater Sydney Celebrates the arts and supports creative industries and innovation | N/A | |
| Objective 10: Greater housing supply | N/A | |
| Objective 11: Housing is more diverse and affordable | Yes | This draft Planning Proposal seeks to add local provisions for studio dwellings to <i>Appendix 1</i> and <i>Appendix 9</i> to strengthen development criteria for studio dwellings, delivering better design outcomes and encouraging a variety of housing choices in Camden LGA's South West Growth Area. |
| Objective 12: Great Places that | N/A | |

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| bring people together | | |
| Objective 13: Environmental heritage is conserved and enhanced | N/A | |
| Productivity | | |
| Objective 14: A Metropolis of Three Cities – integrated land use and transport creates walkable and 30-minute cities | N/A | |
| Objective 15: The Eastern GOPP and Western Economic Corridors are better connected and more competitive | N/A | |
| Objective 16: Freight and logistics network is competitive and efficient | N/A | |
| Objective 17: Regional transport is integrated with land use | N/A | |
| Objective 18: Harbour CBD is stronger and more competitive | N/A | |
| Objective 19: Greater Parramatta is stronger and better connected | N/A | |
| Objective 20: Western Sydney Airport and Badgerys Creek Aerotropolis are economic catalysts for Western Parkland City | N/A | |
| Objective 21: Internationally Competitive health, education, research and innovation precincts | N/A | |
| Objective 22: Investment and business activity in centres | N/A | |
| Objective 23: Industrial and urban services land is planned retained and managed | N/A | |
| Objective 24: Economic sectors are targeted for success | N/A | |
| Sustainability | | |
| Objective 25: The coast and waterways are protected and healthier | N/A | |
| Objective 26: A cool and green parkland city in the South Creek corridor | N/A | |
| Objective 27: Biodiversity is protected, urban bushland and | N/A | |

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| remnant vegetation is enhanced | | |
| Objective 28: Scenic and cultural landscapes are protected | N/A | |
| Objective 29: Environmental, social and economic values in rural areas are protected and enhanced Objective 30: Urban tree canopy cover is increased | N/A | |
| Objective 31: Public open space is accessible, protected and enhanced | N/A | |
| Objective 32: The Green Grid links parks, open spaces, bushland and walking and cycling paths | N/A | |
| Objective 33: A low-carbon city contributes to net-zero emissions by 2050 and mitigates climate change | N/A | |
| Objective 34: Energy and water flows are captured, used and re-used | N/A | |
| Objective 35: More waste is re-used and recycled to support the development of a circular economy | N/A | |
| Objective 36: People and places adapt to climate change and future shocks and stresses | N/A | |
| Objective 37: Exposure to natural and urban hazards is reduced | N/A | |
| Objective 38: Heatwaves and extreme heat are managed | N/A | |
| Implementation | | |
| Objective 39: A collaborative approach to city planning | N/A | |
| Objective 40: Plans refined by monitoring and reporting | N/A | |

| Western City District Plan Priority | | |
|---|--------------------|---|
| Objective | Consistency | Comment |
| Infrastructure and Collaboration | | |
| <p>Planning Priority W1: Planning for a city supported by infrastructure</p> <p>Objective 1 - Infrastructure supports the three cities.</p> <p>Objective 2 - Infrastructure aligns with forecast growth – growth infrastructure compact.</p> <p>Objective 3 - Infrastructure adapts to meet future needs.</p> <p>Objective 4 - Infrastructure use is optimised.</p> | Yes | This draft Planning Proposal seeks to facilitate the rezoning of land owned by Sydney Water to ensure this service provider can deliver vital water and sewerage servicing to support urban development in Camden’s South West Growth Area. |
| <p>Planning Priority W2: Working through collaboration</p> <p>Objective 5 - Benefits of growth realised by collaboration of governments, community and business.</p> | N/A | |
| Liveability | | |
| <p>Planning Priority W3: Providing services and social infrastructure to meet people’s changing needs</p> <p>Objective 6 - Services and infrastructure meet communities’ changing needs.</p> | N/A | |
| <p>Planning Priority W4: Fostering healthy, creative, culturally rich and socially connected communities</p> <p>Objective 7 - Communities are healthy, resilient and socially connected.</p> <p>Objective 8 - Greater Sydney’s communities are culturally rich with diverse neighbourhoods.</p> <p>Objective 9 - Greater Sydney celebrates the arts and supports creative industry and innovation</p> | N/A | |
| <p>Planning Priority W5: Providing housing supply, choice and affordability, with access to jobs,</p> | N/A | This draft Planning Proposal seeks to add local provisions for studio dwellings to <i>Appendix 1</i> and <i>Appendix 9</i> to strengthen |

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| <p>services and public transport</p> <p>Objective 10 - Greater housing supply.</p> <p>Objective 11 - Housing is more diverse and affordable.</p> | | <p>development criteria for studio dwellings, delivering better design outcomes and encouraging a variety of housing choices in Camden LGA's South West Growth Area.</p> |
| <p>Planning Priority W6: Creating and renewing great places and local centres, and respecting the District's heritage</p> <p>Objective 12 - Great places that bring people together.</p> <p>Objective 13 - Environmental heritage is identified, conserved and enhanced.</p> | <p>N/A</p> | |
| <p>Productivity</p> | | |
| <p>Planning Priority W7: Establishing the land use and transport structure to deliver a liveable, productive and sustainable Western Parkland City</p> <p>Objective 14 - <i>A Metropolis of Three Cities</i> – integrated land use and transport creates walkable and 30-minute cities.</p> <p>Objective 15 - The Eastern, GOP and Western Economic Corridors are better connected and more competitive.</p> <p>Objective 16 - Freight and logistics network is competitive and efficient.</p> <p>Objective 17 - Regional connectivity is enhanced.</p> | <p>N/A</p> | |
| <p>Planning Priority W8: Leveraging industry opportunities from the Western Sydney Airport and Badgerys Creek Aerotropolis</p> <p>Objective 20 - Western Sydney Airport and Badgerys Creek Aerotropolis are economic catalysts for Western Parkland City.</p> <p>Objective 24 - Economic sectors are targeted for success.</p> | <p>N/A</p> | |
| <p>Planning Priority W9: Growing and strengthening the metropolitan city cluster</p> | <p>N/A</p> | |

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| <p>Objective 20 - Western Sydney Airport and Badgerys Creek Aerotropolis are economic catalysts for Western Parkland City.</p> <p>Objective 21 - Internationally competitive health, education, research and innovation precincts.</p> <p>Objective 22 - Investment and business activity in centres.</p> | | |
| <p>Planning Priority W10: Maximising Freight and logistics opportunities and planning and managing industrial and urban services land</p> <p>Objective 16 - Freight and logistics network is competitive and efficient.</p> <p>Objective 23 - Industrial and urban services land is planned, retained and managed.</p> | N/A | |
| <p>Planning Priority W12: Protecting and improving the health and enjoyment of the District's waterways</p> <p>Objective 25 - The coast and waterways are protected and healthier.</p> | N/A | |
| <p>Planning Priority W11: Growing investment, business opportunities and jobs in strategic centres</p> <p>Objective 22 - Investment and business activity in centres.</p> | N/A | |
| Sustainability | | |
| <p>Planning Priority W13: Creating a Parkland City urban structure and identity, with South Creek as a defining spatial element</p> <p>Objective 26 - A cool and green parkland city in the South Creek corridor.</p> | N/A | |
| <p>Planning Priority W14: Protecting and enhancing bushland and biodiversity</p> <p>Objective 27 - Biodiversity is protected urban bushland and remnant vegetation is enhanced.</p> | N/A | |

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| <p>Planning Priority W15: Increasing urban tree canopy cover and delivering Green Grid connections</p> <p>Objective 30 - Urban tree canopy cover is increased.</p> <p>Objective 32 - The Green Grid links parks, open spaces, bushland and walking and cycling paths.</p> | <p>N/A</p> | |
| <p>Planning Priority W16: Protecting and enhancing scenic and cultural landscapes</p> <p>Objective 28 - Scenic and cultural landscapes are protected.</p> | <p>Yes</p> | <p>The draft Planning Proposal seeks to remove a mapping anomaly for a height restriction to buildings north of Oran Park House (Catherine Park House) in order to preserve significant view lines to and from this heritage site. Removal of the anomaly will reinstate an accurate interpretation of the heritage significance of Oran Park House (Catherine Park House), by clarifying which view lines must be maintained and respected in accordance with the applicable Heritage Conservation Management Plan.</p> |
| <p>Planning Priority W17: Better managing rural areas</p> <p>Objective 29 - Environmental, social and economic values in rural areas are protected and enhanced.</p> | <p>N/A</p> | |
| <p>Planning Priority W18: Delivering high quality open space</p> <p>Objective 31 - Public open space is accessible, protected and enhanced.</p> | <p>N/A</p> | |
| <p>Planning Priority W19: Reducing carbon emissions and managing energy, water and waste efficiency</p> <p>Objective 33 - A low-carbon city contributes to net-zero emissions by 2050 and mitigates climate change.</p> <p>Objective 34 - Energy and water flows are captured, used and re-used.</p> <p>Objective 35 - More waste is re-used and recycled to support the development of a circular economy.</p> | <p>N/A</p> | |
| <p>Planning Priority W20: Adapting to the impacts of urban and natural hazards and climate change</p> <p>Objective 36 - People and places adapt to climate change and future</p> | <p>N/A</p> | |

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| <p>shocks and stresses.</p> <p>Objective 37 - Exposure to natural and urban hazards is reduced.</p> <p>Objective 38 - Heatwaves and extreme heat are managed.</p> | | |
| <p>Planning Priority W21: Preparing local strategic planning statements informed by local strategic planning</p> <p>Objective 39 - A collaborative approach to city planning.</p> | N/A | |
| <p>Planning Priority W22: Monitoring and reporting on the delivery of the plan</p> <p>Objective 40 - Plans refined by monitoring and reporting</p> | N/A | |

Appendix 2: Consistency against State Environmental Planning Policies

| SEPP Title | Consistency | Comment |
|---|-------------|--|
| 19. Bushland in Urban Areas | N/A | |
| 21. Caravan Parks | N/A | |
| 33. Hazardous and Offensive Development | N/A | |
| 36. Manufactured Home Estates | N/A | |
| 47. Moore Park Showground | N/A | Does not apply to the Camden LGA. |
| 50. Canal Estate Development | N/A | |
| 55. Remediation of Land | Yes | The planning proposal seeks to rezone remnant SP2 Infrastructure land to R3 Medium Density Residential. The rezoning will impact the Catherine Fields (Part) Precinct. However, this precinct has already been released for urban development. |
| 64. Advertising and Signage | N/A | |
| 65. Design Quality of Residential Apartment Development | N/A | |
| 70. Affordable Housing (Revised Schemes) | N/A | |
| SEPP (Aboriginal Land) 2019 | N/A | Does not apply to the Camden LGA. |
| SEPP (Affordable Rental Housing) 2009 | N/A | |
| SEPP (Building Sustainability Index: BASIX) 2004 | N/A | |
| SEPP (Coastal | N/A | Does not apply to the Camden LGA. |

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| Management) 2018 | | |
| SEPP (Concurrences) 2018 | N/A | |
| SEPP (Educational Establishments and Child Care Facilities) 2017 | N/A | |
| SEPP (Exempt and Complying Development Codes) 2008 | N/A | |
| SEPP (Gosford City Centre) 2018 | N/A | Does not apply to the Camden LGA. |
| SEPP (Housing for Seniors or People with a Disability) 2004 | N/A | |
| SEPP (Infrastructure) 2007 | Yes | The planning proposal seeks to rezone several sites to SP2 in order to facilitate the effective delivery of water supply infrastructure by Sydney Water. |
| SEPP (Koala Habitat Protection) 2019 | N/A | |
| SEPP (Kosciuszko National Park-Alpine Resorts) 2007 | N/A | Does not apply to the Camden LGA. |
| SEPP (Kurnell Peninsula) 1989 | N/A | Does not apply to the Camden LGA. |
| SEPP (Mining, Petroleum Production and Extractive Industries) 2007 | N/A | |
| SEPP (Miscellaneous Consent Provisions) 2007 | N/A | |
| SEPP (Penrith Lakes Scheme) 1989 | N/A | Does not apply to the Camden LGA. |
| SEPP (Primary Production and Rural Development) 2019 | Yes | The Planning Proposal will not impact rural land in the Camden LGA. |
| SEPP (State and Regional Development) 2011 | Yes | The Planning Proposal seeks to rezone land to SP2 Infrastructure in order to facilitate potential state significant |

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| | | infrastructure (water treatment facilities) that would be delivered by Sydney Water. |
| SEPP (State Significant Precincts) 2005 | N/A | |
| SEPP (Sydney Drinking Water Catchment) 2011 | N/A | Does not apply to the Camden LGA. |
| SEPP (Sydney Region Growth Centres) 2006 | Yes | The Planning Proposal seeks to make housekeeping amendments to the Growth Centres SEPP. The proposed amendments are not inconsistent with this SEPP. |
| SEPP (Three Ports) 2013 | N/A | Does not apply to the Camden LGA. |
| SEPP (Urban Renewal) 2010 | N/A | |
| SEPP (Vegetation in Non-Rural Area) 2017 | Yes | The Planning Proposal will not reduce the protection and preservation of trees and other vegetation in the Camden LGA. |
| SEPP (Western Sydney Employment Area) 2009 | N/A | Does not apply to the Camden LGA. |
| SEPP (Western Sydney Parklands) 2009 | N/A | Does not apply to the Camden LGA. |
| Sydney Regional Environment Plan No 8 (Central Coast Plateau Areas) | N/A | Does not apply to the Camden LGA. |
| Sydney Regional Environment No 9 (Extractive Industry) | N/A | |
| Sydney Regional Environmental Plan No 16 (Walsh Bay) | N/A | Does not apply to the Camden LGA. |
| Sydney Regional Environmental Plan No 20 Hawkesbury-Nepean River | N/A | Does not apply to the Camden LGA. |
| Sydney Regional Environmental Plan No 24—Homebush Bay Area | N/A | Does not apply to the Camden LGA. |
| Sydney Regional | N/A | Does not apply to the Camden LGA. |

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| Environmental Plan No 26—City West | | |
| Sydney Regional Environmental Plan No 30 St Marys | N/A | Does not apply to the Camden LGA. |
| Sydney Regional Environmental Plan No 33—Cooks Cove | N/A | Does not apply to the Camden LGA. |
| Sydney Regional Environmental Plan (Sydney Harbour Catchment) 2005 | N/A | Does not apply to the Camden LGA. |

Appendix 3: s9.1 Directions

| S9.1 Direction Title | Consistency | Comment |
|---|-------------|---|
| 1.0 Employment and Resources | | |
| 1.1 Business and Industrial Zones | N/A | |
| 1.2 Rural Zones | N/A | |
| 1.3 Mining, Petroleum Production and Extractive Industries | N/A | |
| 1.4 Oyster Aquaculture | N/A | Does not apply to the Camden LGA. |
| 1.5 Rural Lands | N/A. | |
| 2.0 Environment and Heritage | | |
| 2.1 Environment Protection Zones | Yes | The proposed amendments will not impact on the protection and conservation of environmentally sensitive areas, trees or other vegetation in the Camden LGA. |
| 2.2 Coastal Protection | N/A | Does not apply to the Camden LGA. |
| 2.3 Heritage Conservation | Yes | The proposed amendments will protect and conserve the accurate view lines of heritage significance to and from Oran Park House (Catherine Park House). |
| 2.4 Recreation Vehicle Areas | N/A | |
| 2.5 Application of E2 and E3 Zones and Environmental Overlays in Far North Coast LEPs | N/A | Does not apply to the Camden LGA |
| 3.0 Housing, Infrastructure and Urban Development | | |
| 3.1 Residential Zones | Yes | The proposed amendments will strengthen development criteria for studio dwellings, delivering better design outcomes and encouraging a variety of housing choices in Camden LGA's South West Growth Area. |
| 3.2 Caravan Parks and Manufactured Home Estates | N/A | |

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| 3.3 Home Occupations | N/A | |
| 3.4 Integrating Land Use and Transport | N/A | |
| 3.5 Development Near Licensed Aerodromes | N/A | |
| 3.6 Shooting Ranges | N/A | |
| 3.7 Reduction in non-hosted short term rental accommodation period | N/A | |
| 4.0 Hazard and Risk | | |
| 4.1 Acid Sulphate Soils | N/A | |
| 4.2 Mine Subsidence and Unstable Land | N/A | |
| 4.3 Flood Prone Land | Yes | <p>The Floodplain Risk Management clause will apply to land to which an adopted floodplain risk management plan applies.</p> <p>The Upper South Creek Floodplain Risk Management Study and Plan (2019) has been prepared in accordance with the NSW Government Floodplain Development Manual (2005). The proposed clause will require future assessment against the adopted flood plan.</p> <p>It is proposed existing Zone RE2 Private Recreation will be replaced with Zone B5 Business Development on flood impacted land in the Turner Road Precinct to facilitate the alignment of the zone boundary with existing lot and road boundaries. The issue of B5 Business Development zoning on Flood Prone Land however would have been encountered for in the flood study for the Turner Road Precinct.</p> |
| 4.4 Planning for Bushfire Protection | Yes | <p>The proposed amendments will not impact on this Direction.</p> <p>Council will consult with the Rural Fire</p> |

Service following receipt of a Gateway Determination.

5.0 Regional Planning

| | | |
|--|-----|--|
| 5.1 Implementation of Regional Strategies | N/A | Does not apply to the Camden LGA. |
| 5.2 Sydney Drinking Water Catchments | N/A | Does not apply to the Camden LGA. |
| 5.3 Farmland of State and Regional Significance on the NSW Far North Coast | N/A | Does not apply to the Camden LGA. |
| 5.4 Commercial and Retail Development along the Pacific Highway, North Coast | N/A | Does not apply to the Camden LGA. |
| 5.9 North West Rail Link Corridor Strategy | N/A | Does not apply to the Camden LGA. |
| 5.10 Implementation of Regional Plans | Yes | The Planning Proposal is consistent with the Greater Sydney Region Plan. |
| 5.11 Development of Aboriginal Land Council land | N/A | |

6.0 Local Plan Making

| | | |
|--|-----|--|
| 6.1 Approval and Referral Requirements | Yes | The Planning Proposal does not trigger the need for any concurrence, consultation or referral to a Minister or Public Authority. |
| 6.2 Reserving Land for Public Purposes | Yes | The Planning Proposal does not propose any additional land for public purposes. |
| 6.3 Site Specific Provisions | N/A | |

7.0 Metropolitan Plan Making

| | | |
|--|-----|---|
| 7.1 Implementation of A Plan for Growing Sydney | Yes | The Planning Proposal is not inconsistent with the terms of this direction. |
| 7.2 Implementation of Greater Macarthur Land Release Investigation | N/A | Does not apply to the Camden LGA. |
| 7.3 Parramatta Road Corridor | N/A | Does not apply to the Camden LGA. |

Urban Transformations Strategy

| | | |
|---|-----|---|
| 7.4 Implementation of North West Priority Growth Area Land Use and Infrastructure Implementation Plan | N/A | Does not apply to the Camden LGA. |
| 7.5 Implementation of Greater Parramatta Priority Growth Area Interim Land Use and Infrastructure Implementation Plan | N/A | Does not apply to the Camden LGA. |
| 7.6 Implementation of Wilton Priority Growth Area Interim Land Use and Infrastructure Implementation Plan | N/A | Does not apply to the Camden LGA. |
| 7.7 Implementation of Glenfield to Macarthur Urban Renewal Corridor | N/A | Does not apply to the Camden LGA. |
| 7.8 Implementation of the Western Sydney Aerotropolis interim Land use and Infrastructure Implementation Plan | Yes | The Planning Proposal is not inconsistent with the Western Sydney Aerotropolis Interim Land Use and Infrastructure Implementation Plan (LUIIP). |
| 7.9 Implementation of Bayside West Precincts 2036 Plan | N/A | Does not apply to the Camden LGA |
| 7.10 Implementation of Planning Principles for the Cooks River Cove Precinct | N/A | Does not apply to the Camden LGA |

Appendix 4: Zoning for Water Infrastructure

Council has received correspondence from Sydney Water seeking to rezone a number of sites in their ownership to SP2 Infrastructure in order to reflect their ongoing use as vital and permanent infrastructure associated with the provision of water and sewer services to the community.

The sites are located across Camden LGA's South West Growth Area with the current zones ranging between R1 – General Residential and B5 – Business Development. The existing zoning in these sites causes confusion for nearby owners as to the ongoing use of the site as permanent water or sewer infrastructure. Distinguishing the site as SP2 - Infrastructure gives the community better clarity as to the ongoing use of the site and preserves the use of the site as permanent infrastructure.

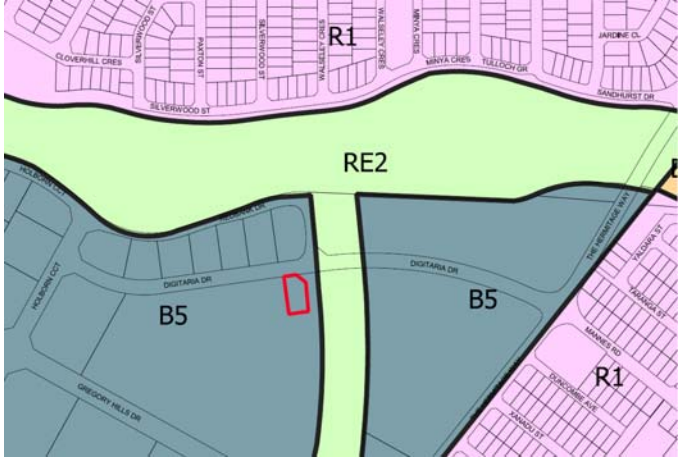
The proposed sites are outlined below:

| Site Address | Suburb | Current zoning | Proposed zoning | Lot | DP | Site use | Site Name |
|-----------------------|-----------------|----------------|-----------------|------|---------|------------|-----------------|
| G The Northern Road | Oran Park | R1 | SP2 | 9019 | 1178579 | Sewer pump | SP1170 |
| 14 Digitaria Drive | Gledswood Hills | B5 | SP2 | 843 | 1203105 | Water pump | WP0415 |
| 668 Camden Valley Way | Gledswood Hills | B5 and RE2 | SP2 | 700 | 1154772 | Sewer pump | SP1156 & SX0079 |
| 61A Cowpasture Road | Leppington | B5 | SP2 | 1001 | 1197989 | Sewer pump | SP1182 |

Maps comparing the current zoning to the proposed zoning of each of the above sites is contained within **Appendix 5** of this Planning Proposal.

Appendix 5: Amendments table

Matter 1. – Zoning for Water Infrastructure

| No. | SEPP Map | Current | Proposed | Site Address | Explanation of Proposed Amendment |
|------------------------------------|----------|--|--|--|---|
| 1. Zoning for Water Infrastructure | | | | | |
| a. | LZN 00 |  |  | G The Northern Road, Oran Park Lot 9019, DP 1178579 | Remove R1 General Residential zone and rezone to SP2 Infrastructure Rezoned to SP2 Infrastructure to facilitate the development of permanent and critical infrastructure (a recycled water service) provided by Sydney Water (landowner). |
| b. | LZN 009 |  |  | 14 Digitaria Drive, Gledswood Hills Lot 843, DP 1203105 | Remove B5 Business Development zone and rezone to SP2 Infrastructure Rezoned to SP2 Infrastructure to facilitate the development of permanent and critical infrastructure (a recycled water service) provided by Sydney Water (landowner). |

| No. | SEPP Map | Current | Proposed | Site Address Affected Lot and DP | Explanation of Proposed Amendment |
|-----|----------|--|--|--|---|
| c. | LZN 009 |  |  | <p>668 Camden Valley Way, Gledswood Hills</p> <p>Lot 700, DP 1154772</p> | <p><u>Remove B5 Business Development and RE2 Private Recreation zone and rezone SP2 Infrastructure</u></p> <p>Rezoned to SP2 Infrastructure to facilitate the development of permanent and critical infrastructure (a recycled water service) provided by Sydney Water (landowner).</p> |
| d. | LZN 013 |  |  | <p>61A Cowpasture Road, Leppington</p> <p>Lot 1001, DP 1197989</p> | <p><u>Remove B5 Business Development zone and rezone to SP2 Infrastructure</u></p> <p>Rezoned to SP2 Infrastructure to facilitate the development of permanent and critical infrastructure (a recycled water service) provided by Sydney Water (landowner).</p> |

Matter 2.- Review of Building Heights along the curtilage of Oran Park House (Catherine Park House)

| No. | SEPP Map | Current | Proposed | Site Address Affected Lot and DP | Explanation of Proposed Amendment |
|---|----------|---|--|---|--|
| 2. Oran Park House Curtilage Height of Buildings Maps | | | | | |
| a. | HOB 004 |  |  | <p>Properties along Dunstan Street, Oran Park</p> <p>PT200, DP1235003.</p> <p>PT2060, DP 1225569.</p> <p>Lot 1491, DP 1225553.</p> <p>Lot 1490, DP 1225553.</p> <p>Lot 1489, DP 1225553.</p> <p>Lot 1488, DP 1225553.</p> | <p><u>Remove 5m height restriction along the northern boundary of Oran Park House (Catherine Park House)</u></p> <p>The Growth Centres SEPP map is inconsistent with the extent of heritage view lines required to be protected to Oran Park House (Catherine Park House). The Northern extent of 5m height restriction along Dunstan Street is incorrect and should be removed.</p> |

Matter 3.- Miscellaneous Amendments to instrument clauses

| No. | Anomaly | Proposed Amendment | Explanation of the Proposed Amendment |
|---|--|--|---|
| 3. Minimum Subdivision lot size | | | |
| | <p>Clause 4.1(4) of Appendix 1 and 9 are not up to date with recent legislative changes made to the Standard Instrument in 2018 as a result of the Longbow Caselaw. The legislative change clarified that a minimum subdivision lot size does not apply to strata and community title subdivision.</p> | <p>4.1 Minimum subdivision lot size (4) This clause does not apply in relation to the subdivision of any land: (a) by the registration of a strata plan or strata plan of subdivision under the Strata Schemes Development Act 2015, or (b) by any kind of subdivision under the Community Land Development Act 1989.</p> | <p>The inclusion of sub-clauses (a) and (b) will correct the operation of clause 4.1(4) of Appendix 1 and 9 to reflect current legislation.</p> |
| 4. Studio Dwelling additional local provisions | | | |
| | <p>The current studio dwelling definition is vague and can be interpreted to permit the construction of studio dwellings above garages fronting the primary street frontage.</p> | <p>Studio dwelling</p> <p>(1) Development consent must not be granted to development for the purposes of a studio dwelling unless the consent authority is satisfied that the proposed dwelling –</p> <p>(a) is established in conjunction with another dwelling (the principal dwelling) and the principal dwelling is on its own lot of land, and</p> <p>(b) is erected above the principal dwelling's garage (whether the garage is attached to, or is separated from, the principal dwelling) and the principal dwelling's garage is located at the rear of the lot (and has direct access provided via a public street or laneway adjoining the rear or side boundary of the lot).</p> <p>(2) In deciding whether to grant consent to development for the purposes of a studio dwelling, the consent authority must consider –</p> <p>(a) The visual impact of the studio dwelling on the streetscape.</p> | <p>New local provisions for Studio dwellings are proposed to be included under Part 6 of the Growth Centres SEPP (clause 6.7 for Appendix 1 and clause 6.8 for Appendix 9) that will stipulate additional development criteria for studio dwellings and will complement the Growth Centres SEPP definition for studio dwelling.</p> |

| No. | Anomaly | Proposed Amendment | Explanation of the Proposed Amendment |
|--|--|---|--|
| 5. Inconsistencies between Appendix 1 and Appendix 9 | | | |
| a. | Aims within Appendix 1 and Appendix 9 under the Growth Centres SEPP are not consistent. | <p>1.2 Aims of Precinct Plan The aims of this Precinct Plan are as follows—</p> <ul style="list-style-type: none"> (a) to make development controls that will ensure the creation of quality environments and good design outcomes, (b) to protect and enhance environmentally sensitive natural areas and cultural heritage, (c) to provide for recreational opportunities, (d) to provide for multifunctional and innovative development that encourages employment and economic growth, (e) to promote housing choice and affordability, (f) to provide for sustainable development, (g) to minimise the impact on existing and future communities of the full range of risks posed by natural hazards such as bush fires and flooding. (h) to promote pedestrian and vehicle connectivity. | Amend Clause 1.2 Aims of Precinct Plan in Appendix 1 and Appendix 9 to adopt the same wording. Correct spelling for 'bush fire'. |
| b. | Appendix 1 does not have clause 1.5 notes | <p>1.5 Notes Notes in this Plan are provided for guidance and do not form part of this Plan</p> | Add clause 1.5 from Appendix 9 to Appendix 1 for consistency. |
| c. | The Note repealing Camden LEP 2010 has not been included under clause 1.8 of Appendix 1. | <p>1.8 Repeal of other local planning instruments applying to land (2) All local environmental plans and deemed environmental planning instruments applying to the land to which this Precinct Plan applies and to other land cease to apply to the land to which this Precinct Plan applies.</p> <p>Note. Camden Local Environmental Plan 2010 ceases to apply to the land to which this Precinct Plan applies</p> | Add "Note. Camden Local Environmental Plan 2010 ceases to apply to the land to which this Precinct Plan applies" under clause 1.8 (2) for clarity in Appendix 1. |

| No. | Anomaly | Proposed Amendment | Explanation of the Proposed Amendment |
|-----|---|--|---|
| d. | Clause 1.9(3) of Appendix 1 references repealed legislation from the NSW Environmental Planning and Assessment Act 1979. Subclause (3) is omitted from clause 1.9 of Appendix 9 | Delete Clause 1.9 sub-clause (3) from Appendix 1 | Deleting the sub clause will correct an inaccurate reference to the NSW Environmental Planning and Assessment Act 1979 under Appendix 1, clause 1. |
| e. | Appendix 1, clause 2.6(3) enables strata subdivision without consent provided the strata subdivision is not for a building under the SEPP (Affordable Rental Housing) 2009 or where the building has been designed or approved for occupation as a single unit. | <p>2.6 Subdivision—consent requirements</p> <p>(1) Land to which this Precinct Plan applies may be subdivided, but only with development consent.</p> <p>Notes.</p> <p>1 If a subdivision is specified as exempt development in an applicable environmental planning instrument, such as this Plan or State Environmental Planning Policy (Exempt and Complying Development Codes) 2008, the Act enables it to be carried out without development consent.</p> <p>2 Part 6 of State Environmental Planning Policy (Exempt and Complying Development Codes) 2008 provides that the strata subdivision of a building in certain circumstances is complying development.</p> <p>(2) Development consent must not be granted for the subdivision of land on which a secondary dwelling is situated if the subdivision would result in the principal dwelling and the secondary dwelling being situated on separate lots, unless the resulting lots are not less than the minimum size shown on the Lot Size Map in relation to that land.</p> <p>Note.</p> <p>The definition of secondary dwelling in the Dictionary requires the dwelling to be on the same lot of land as the principal dwelling.</p> | Replacing Clause 2.6 Subdivision – consent requirements in Appendix 1 and Appendix 9 will remove existing inconsistencies between these appendices and align them to the Standard Instrument. |



| No. | Anomaly | Proposed Amendment | Explanation of the Proposed Amendment |
|-----|--|---|---|
| f. | Part 2, Clause 2.8 – Temporary use of land of Appendix 9 has been omitted from Appendix 1. | <p>2.8 Temporary use of land</p> <p>(1) The objective of this clause is to provide for the temporary use of land if the use does not compromise future development of the land, or have detrimental economic, social, amenity or environmental effects on the land.</p> <p>(2) Despite any other provision of this Precinct Plan, development consent may be granted for development on land in any zone for a temporary use for a maximum period of 52 days (whether or not consecutive days) in any period of 12 months.</p> <p>(3) Development consent must not be granted unless the consent authority is satisfied that—</p> <p>(a) the temporary use will not prejudice the subsequent carrying out of development on the land in accordance with this Precinct Plan and this or any other applicable environmental planning instrument, and</p> <p>(b) the temporary use will not adversely impact on any adjoining land or the amenity of the neighbourhood, and</p> <p>(c) the temporary use and location of any structures related to the use will not adversely impact on environmental attributes or features of the land, or increase the risk of natural hazards that may affect the land, and</p> <p>(d) at the end of the temporary use period, the site will, as far as is practicable, be restored to the condition in which it was before the commencement of the use.</p> <p>(4) Despite subclause (2), the temporary use of a dwelling as a sales office for a new release area or a new housing estate may exceed the maximum number of days specified in that subclause.</p> <p>(5) Subclause (3) (d) does not apply to the temporary use of a dwelling as a sales office mentioned in subclause (4).</p> <p>(6) This clause does not prescribe a development standard that may be varied under this Precinct Plan.</p> | Add clause 2.8 – Temporary use of land from Appendix 9 to Appendix 1. |

| No. | Anomaly | Proposed Amendment | Explanation of the Proposed Amendment |
|--|--|---|---|
| 6. Appendix 1 - Review Building Heights Clause | | | |
| | Building height measures taken at the finished ground level enables the height of the development to exceed the controlled height. | <p>Appendix 1 – Clause 4.3 Height of buildings</p> <p>(5) The consent authority may grant development consent for development on land within Zone B5 Business Development or Zone IN1 General Industrial, that does not exceed 15 metres in height above existing ground level, if the land has frontage to Badgally Road, Camden Valley Way, the Northern Road or East West Road (as shown in the Oran Park Precinct Development Control Plan or the Turner Road Precinct Development Control Plan), or to land within Zone RE1 Public Recreation or Zone RE2 Private Recreation.</p> | Building height measures taken at the finished ground level enables the height of the development to exceed the development control height. Replacing finished ground level with existing ground level aligns with the definition for building height (or height of the building). |
| 7. Appendix 1 – Review Clause 4.3(5) | | | |
| a. | Update road names in clause 4.3 (5). | <p>Appendix 1 – Clause 4.3 (5) Height of buildings</p> <p>(5) The consent authority may grant development consent for development on land within Zone B5 Business Development or Zone IN1 General Industrial, that does not exceed 15 metres in height above finished ground level, if the land has frontage to Gregory Hills Drive, Camden Valley Way, the Northern Road or Dick Johnson Drive (as shown in the Oran Park Precinct Development Control Plan or the Turner Road Precinct Development Control Plan), or to land within Zone RE1 Public Recreation or Zone RE2 Private Recreation.</p> | <p><u>Appendix 1, Clause 4.3 (5).</u> <u>Maximum building height within the B5 zone</u></p> <p>Remove superseded road names with the road names adopted by the Geographical Names Board of NSW.</p> <p>NOTE: Turner Road Precinct Plans should also be updated for consistency.</p> |
| b. | Improve the readability of clause 4.3 (5) to reflect the actual intent of this clause. | <p>Appendix 1 – Clause 4.3 (5) Height of buildings</p> <p>(5) The consent authority may grant development consent for development on land within Zone B5 Business Development or Zone IN1 General Industrial, that does not exceed 15 metres in height above finished ground level, if the land has frontage to Gregory Hills Drive, Camden Valley Way, the Northern Road or Dick Johnson Drive (as shown in the Oran Park Precinct Development Control Plan or the Turner Road Precinct Development Control Plan), or to land fronting Zone RE1 Public Recreation or Zone RE2 Private Recreation.</p> | It is intended that the operation of this clause applies to business and industrial zoned land fronting the listed roads and RE1 Public Recreation and RE2 Private Recreation zones. |

| No. | Anomaly | Proposed Amendment | Explanation of the Proposed Amendment |
|-----------------------------------|--|---|---|
| 8. Appendix 1 – Review Clause 5.4 | | | |
| a. | <p>Appendix 1, Clause 5.4 does not name the permissible use at the start of the subclause and has not included the Note under Bed and Breakfast accommodation.</p> | <p>5.4 Controls relating to miscellaneous permissible uses</p> <p>(1) Bed and breakfast accommodation If development for the purposes of bed and breakfast accommodation is permitted under this Precinct Plan, the accommodation that is provided to guests must consist of no more than 3 bedrooms.</p> <p>Note.</p> <p>Any such development that provides for a certain number of guests or rooms may involve a change in the class of building under the Building Code of Australia.</p> <p>(2) Home businesses If development for the purposes of a home business is permitted under this Precinct Plan, the carrying out of the business must not involve the use of more than 50m² of floor space.</p> <p>(3) Home Industries If development for the purposes of a home industry is permitted under this Precinct Plan, the carrying out of the business must not involve the use of more than 50m² of floor space.</p> <p>(4) Industrial retail outlets If development for the purposes of an industrial retail outlet is permitted under this Precinct Plan, the gross floor area of the outlet must not exceed—</p> <p>(a) 40 per cent of the combined gross floor area of the outlet or place and the building or place on which the industry is carried out, or</p> <p>(b) 400m²,</p> <p>whichever is the lesser.</p> <p>(5) Farm stay accommodation If development for the purposes of farm stay accommodation is permitted under this Precinct Plan, the accommodation that is provided to guests must consist of no more than 3 bedrooms.</p> <p>(6) Kiosks If development for the purposes of a kiosk is</p> | <p>Inserting the permissible use at the start of each subclause will improve the readability of these subclauses.</p> <p>The insertion of the Note under Bed and Breakfast accommodation provides consistency between <i>Appendix 1</i> and <i>Appendix 9</i> and references the Building Code of Australia to identify the class of building depending on guest numbers and rooms.</p> |

| No. | Anomaly | Proposed Amendment | Explanation of the Proposed Amendment |
|-------------------------------------|---|--|---|
| | | <p>permitted under this Precinct Plan, the gross floor area must not exceed 20m².</p> <p>(7) Neighbourhood shops If development for the purposes of a neighbourhood shop is permitted under this Precinct Plan, the retail floor area must not exceed 80m².</p> <p>(8) Roadside stalls If development for the purposes of a roadside stall is permitted under this Precinct Plan, the gross floor area must not exceed 20m².</p> <p>(9) Secondary dwellings If development for the purposes of a secondary dwelling is permitted under this Precinct Plan, the total gross floor area of the dwelling (excluding any area used for parking) must not exceed whichever of the following is the greater—</p> <p>(a) 75 square metres,</p> <p>(b) 30% of the total gross floor area of both the self-contained dwelling and the principal dwelling.</p> | |
| 9. Appendix 9 – Review Clause 4.1AF | | | |
| | Appendix 9, Clause 4.1AF has an unnecessary word to be removed. | <p>4.1AF Exceptions to minimum lot sizes for dwelling houses on small lots</p> <p>(1) This clause applies to the following lots—</p> <p>(a) a lot in Zone R2 Low Density Residential that has an area less than 225m² (but not less than 200m²) and for which the dwelling density (per hectare) shown on the Residential Density Map in relation to the land is 20.</p> | Replacing “equal to or greater than 200m ² but” with “but not less than 200m ² ” will make this clause legible. |

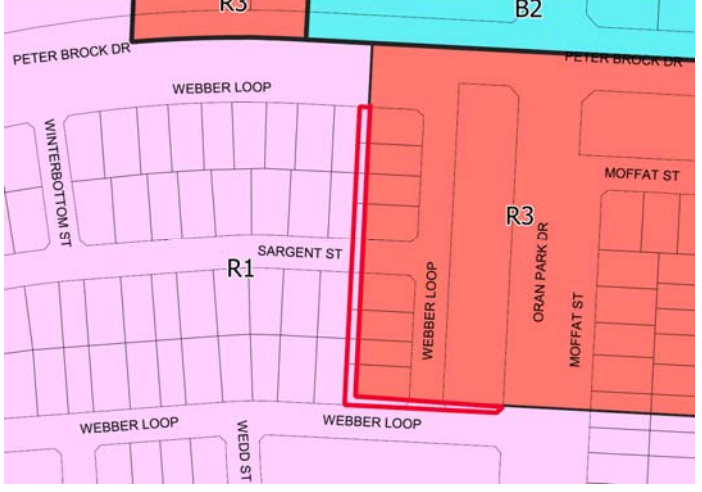

Matter 4.- Miscellaneous amendments to instrument maps

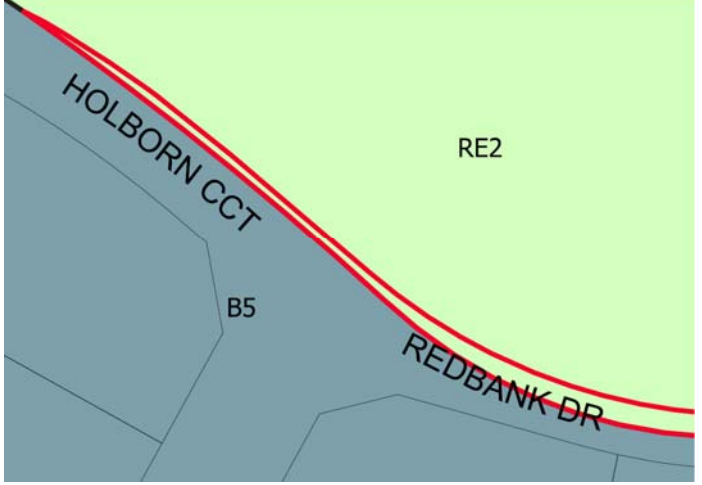
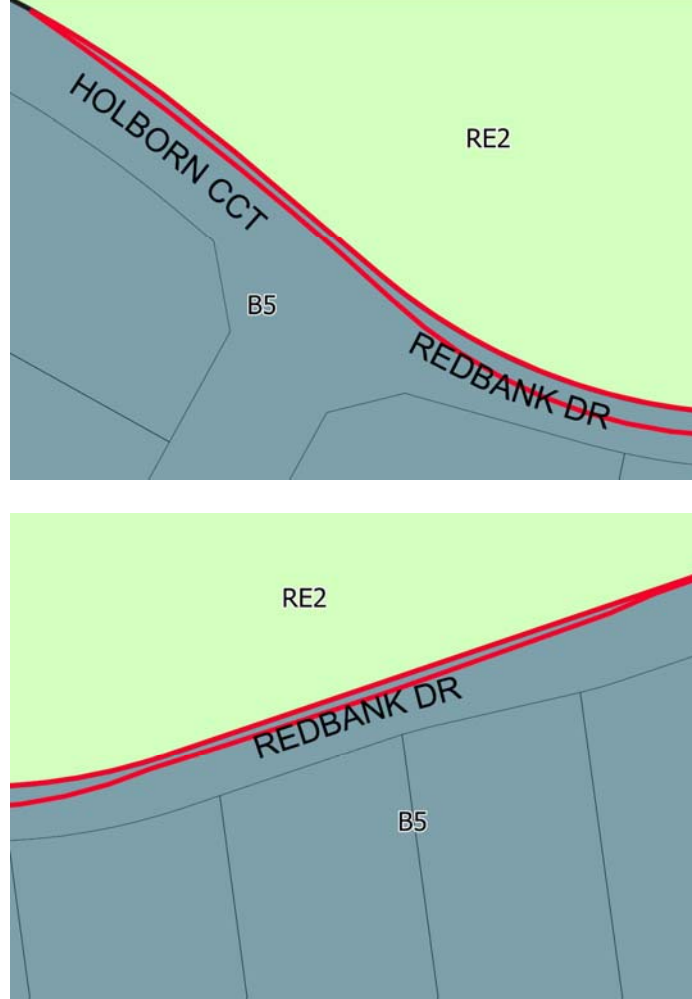
| No. | SEPP Map | Current | Proposed | Site Address Affected Lot and DP | Explanation of Proposed Amendment |
|-----|---------------------|--|---|---|--|
| a. | LZN 004/ LZN 009 |  |  | <p>Oran Park Drive, between Dan Cleary Drive and Camden Valley Way, Oran Park</p> <p>Lot 25, DP 270613.</p> | <p><u>Apply SP2 Infrastructure zone to unzoned land</u></p> <p>Land has been embellished as a road/road reserve. Apply SP2 zoning.</p> |

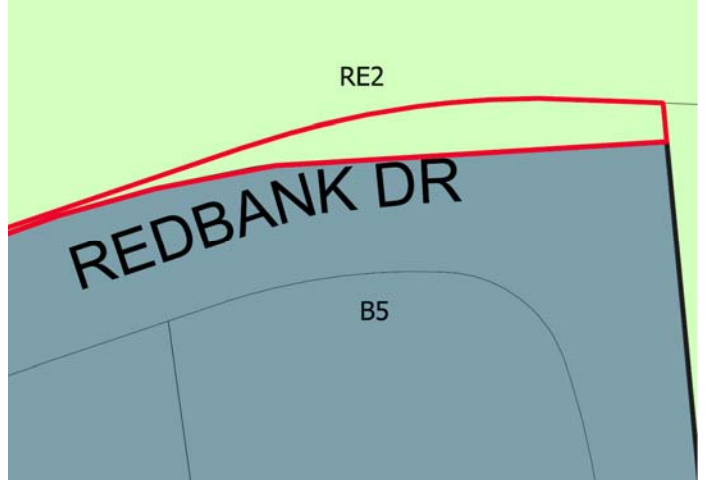
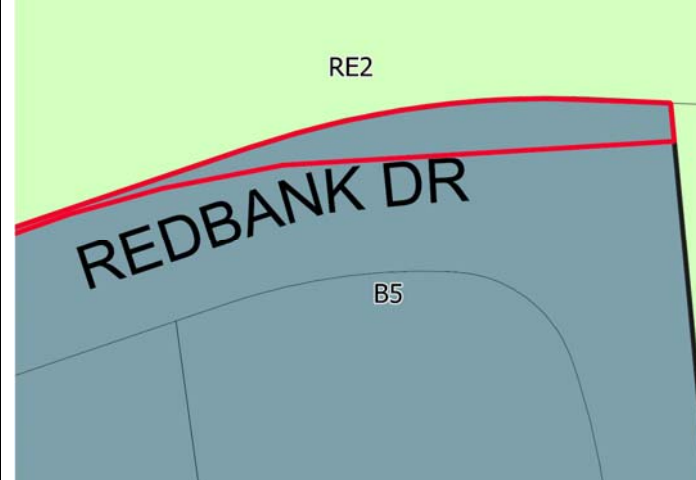
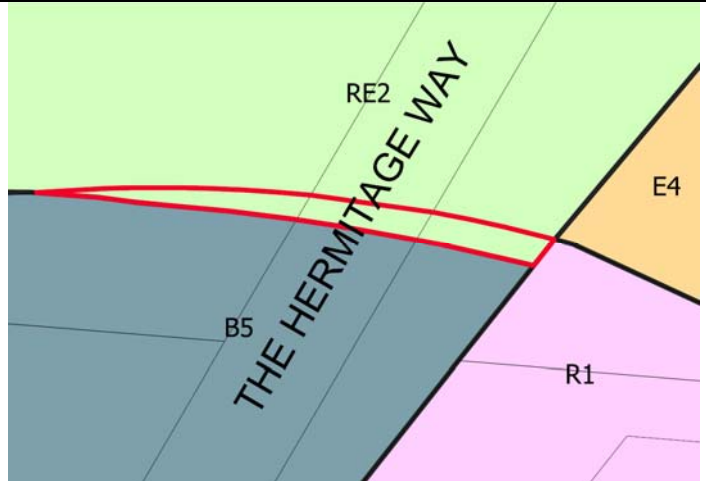
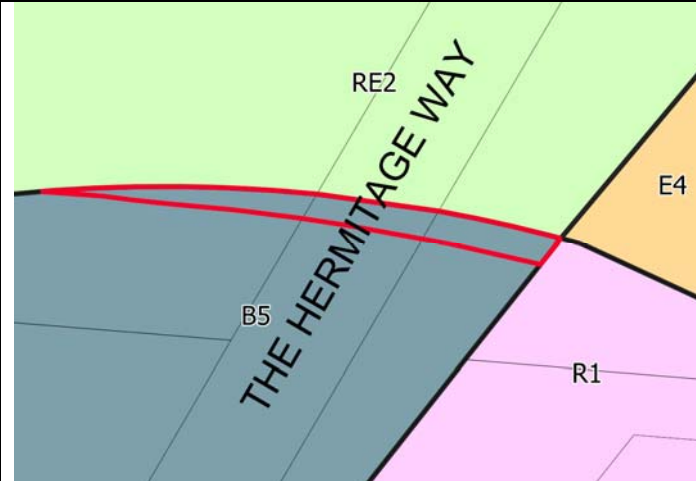
| No. | SEPP Map | Current | Proposed | Site Address | Explanation of Proposed Amendment |
|-----|---------------------|--|---|---|---|
| b. | LZN 004 and LZN 009 |  |  | <p>Oran Park Drive, between Dan Cleary Drive and Camden Valley Way, Oran Park</p> <p>Adjoining Lot 21, DP 270613.</p> | <p><u>Apply SP2 Infrastructure zone to unzoned land</u></p> <p>Land has been embellished as a road/road reserve. Apply SP2 Infrastructure zoning.</p> |
| c. | LZN 009 |  |  | <p>10 Oran Park Drive, Oran Park</p> <p>Adjoining land within Lot 6 DP 1235000</p> | <p><u>Rezone remnant land zoned SP2 Infrastructure to zone R3 Medium Density Residential</u></p> <p>The land is no longer required for road infrastructure. The NSW Department of Planning, Infrastructure and Environment (DPIE) has received a request from the developer to rezone the remnant land to R3. No objections have been raised by Camden Council officers or the NSW Roads and Maritime Services (RMS).</p> |



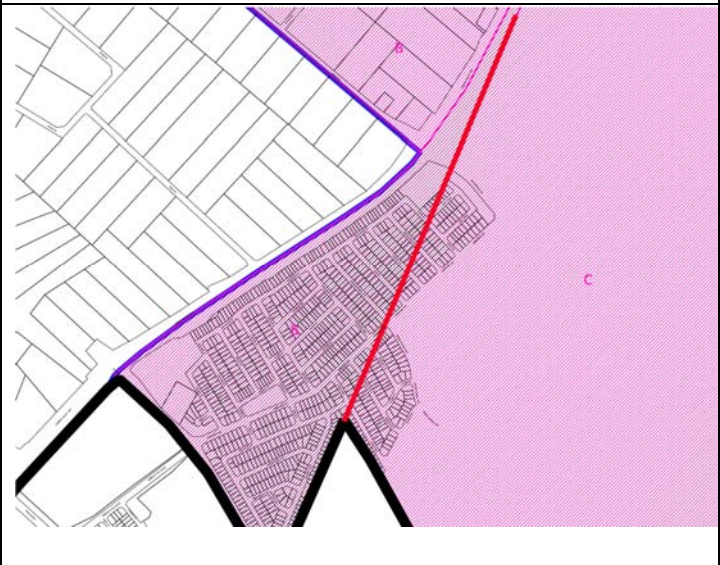
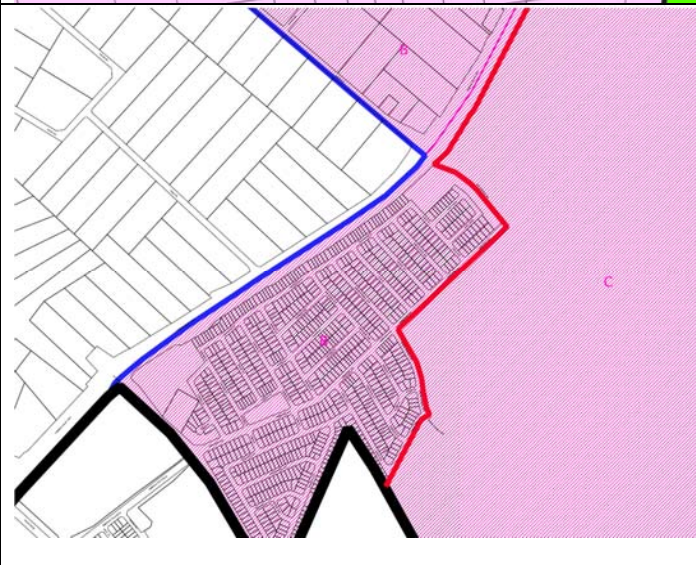
| No. | SEPP Map | Current | Proposed | Site Address | Explanation of Proposed Amendment |
|-----|----------|---------|----------|--|---|
| | | | | Affected Lot and DP | |
| d. | LZN 008 | | | 11A Ingleburn Road, Leppington Lot, 76 DP: 1180577 | <p><u>Remove R3 Medium Density Residential zone and rezone to SP2 Infrastructure</u></p> <p>This parcel has been embellished as road as part of the upgraded Ingleburn Road. The SP2 Infrastructure zone should be applied over the road extension at 11A Ingleburn Road, Leppington.</p> |
| e. | LZN 004 | | | 213 South Circuit, Oran Park Lot: 9345, DP: 1233336 215 South Circuit, Oran Park Lot: 9344, DP: 1233336 | <p><u>Remove R1 General Residential zone and rezone to R3 Medium Density Residential</u></p> <p>Snap the R3 Medium Density Residential zone to the lot boundary for 94 Skaife Street, Oran Park.</p> |

Planning Proposal for Housekeeping Amendment to SEPP (Sydney Region Growth Centres) 2006

| No. | SEPP Map | Current | Proposed | Site Address | Explanation of Proposed Amendment |
|-----|----------|--|---|---|---|
| | | | | Affected Lot and DP | |
| f. | LZN 004 |  |  | <p>70-84 Webber Loop, Oran Park</p> <p>Lots: 3554-3551 and 3521 to 3518, DP 1193410</p> | <p><u>Remove R1 General Residential zone and rezone to R3 Medium Density Residential</u></p> <p>Snap the R3 Medium Density Residential zone to the lot boundary for 94 Skaife Street, Oran Park.</p> |
| g. | LZN 004 |  |  | <p>94 Skaife Street, Oran Park</p> <p>Lot 6147, DP 1219869</p> | <p><u>Remove R1 General Residential zone and rezone to RE1 Private Recreation</u></p> <p>Snap the RE1 Private Recreation zone to the lot boundary for 94 Skaife Street, Oran Park to reflect the current land embellishment as a public recreation.</p> |

| No. | SEPP Map | Current | Proposed | Site Address | Explanation of Proposed Amendment |
|-----|----------|---|---|--|--|
| h. | LZN 009 |  |  | <p>29 Walseley Crescent, Gledswood Hills</p> <p>Lot 2, DP: 1246073</p> | <p><u>Remove RE2 Private Recreation zone and rezone to B5 Business Development</u></p> <p>Rezone RE2 Private Recreation to B5 Business Development to align to the lot boundaries.</p> |

| No. | SEPP Map | Current | Proposed | Site Address | Explanation of Proposed Amendment |
|-----|----------|--|---|---|---|
| i. | LZN 009 |  <p>RE2 REDBANK DR B5</p> |  <p>RE2 REDBANK DR B5</p> | A Holborn Circuit, Gledswood Hills Lot 835, DP 1203105. | <p><u>Correct the application of the RE2 Private Recreation and B5 Business Development zones by snapping to lot boundaries</u></p> <p>Lot 835 – Whole lot zoned to B5.</p> |
| j. | LZN 009 |  <p>RE2 THE HERMITAGE WAY B5 E4 R1</p> |  <p>RE2 THE HERMITAGE WAY B5 E4 R1</p> | 28 The Hermitage Way, Gledswood Hills Lot 48, DP 1250327. | <p><u>Correct the application of the RE2 Private Recreation and B5 Business Development zones by snapping to lot boundaries</u></p> <p>Lot 48 – Whole lot zoned B5.</p> |

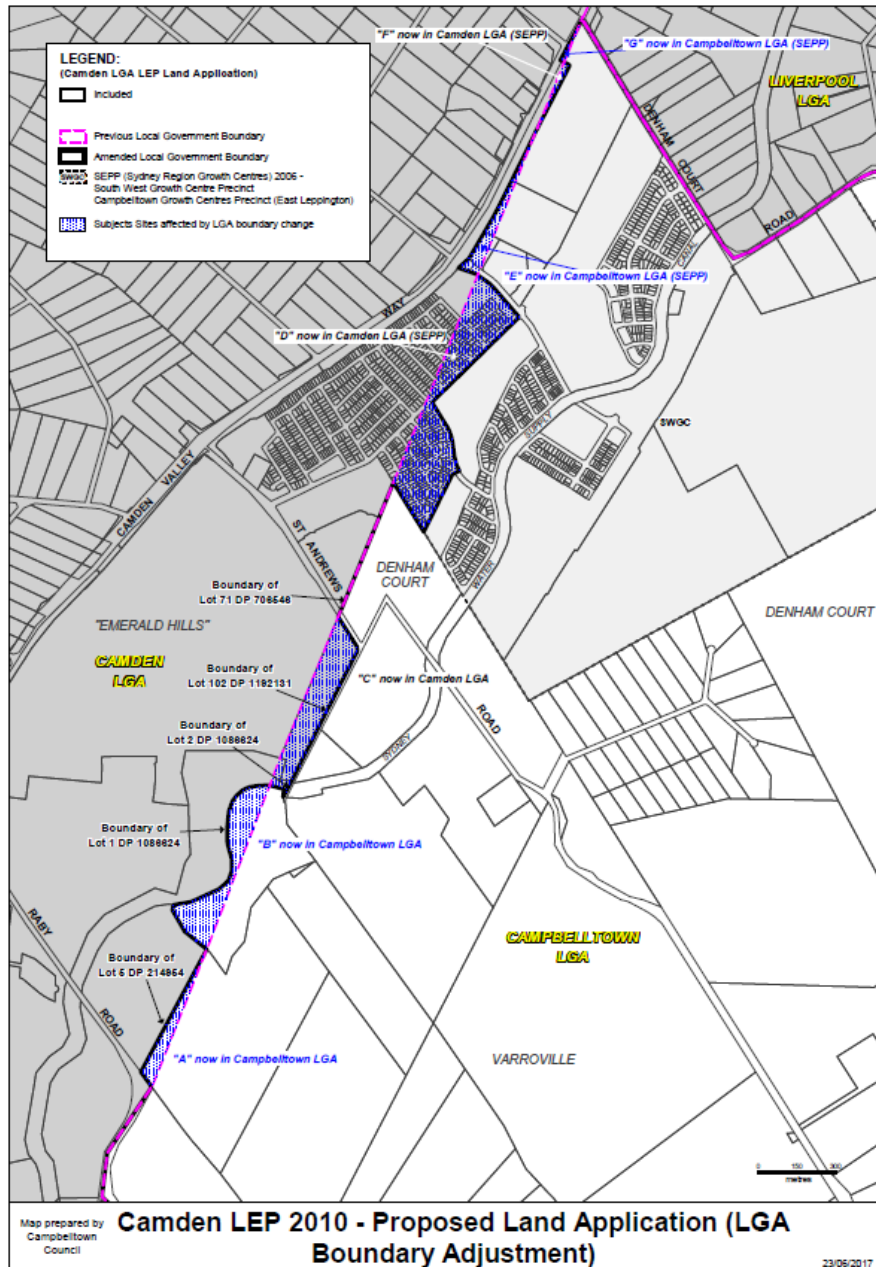
| No. | SEPP Map | Current | Proposed | Site Address | Explanation of Proposed Amendment |
|-----|----------|--|---|--|---|
| k. | LZN 009 |  |  | <p>33 Village Circuit, Gregory Hills</p> <p>Lot 3, DP 1192118.</p> | <p><u>Remove R1 General Residential zone and rezone to B1 Neighbourhood Centre</u></p> <p>Realign the R1 General Residential and B1 Neighbourhood Centre zones to snap to the lot boundary.</p> |
| i. | LAP 008 |  |  | <p>Subject sites affected by the LGA Boundary are presented in Appendix 6 of the planning proposal.</p> | <p><u>Correct Camden and Campbelltown LGAs boundary in the SEPP</u></p> <p>In November 2015, Amendment No. 39 to the Camden LEP was gazetted to realign the LGA boundary between Camden and Campbelltown LGAs. The amendment will update the Growth Centres SEPP to show the gazetted boundary realignment and will make the Growth Centres SEPP consistent with Camden LEP 2010. The amendment is housekeeping in nature and will have no planning consequences for parcels identified in Appendix 6.</p> |

| No. | SEPP Map | Current | Proposed | Site Address | Explanation of Proposed Amendment |
|-----|----------|---|--|---|---|
| m. | HOB 008 |  |  | <p>11A Ingleburn Road, Leppington</p> <p>Lot 76, DP 1180577</p> | <p><u>Remove height limit M (12 m) over Ingleburn Road</u></p> <p>Remove height limit M as height limits are not applicable to road infrastructure.</p> |

Appendix 6: LGA Boundary Land Application Map

As part of Amendment No.39 to the Camden Local Environmental Plan (LEP), the boundaries between Camden and Campbelltown Local Government Areas were realigned in 2015. Parcels identified in areas A to G in **Figure 2** are affected by the boundary realignment.

The nature of this housekeeping amendment to the Growth Centres SEPP is to provide consistency with the Camden LEP. As such, there will be no negative planning consequences for the affected landowners.



Appendix 7: Oran Park House (Catherine Park House) Heritage Conservation Management Plan – 19 May 2019

Oran Park (SHR 1695)

Also known as Catherine Park

Oran Park Drive, NSW

Conservation Management Plan



prepared for
Hixson Pty Ltd

May 2019
REF: 1655: CMP
Issue 23

Tropman & Tropman Architects

Architecture Conservation Landscape Interiors Urban Design Interpretation
55 Lower Fort Street Sydney NSW 2000 Phone: (02) 9251 3250 Fax: (02) 9251 6109
Website: www.tropmanarchitects.com.au Email: tropman@tropmanarchitects.com.au
TROPMAN AUSTRALIA PTY LTD ABN 71 088 542 885 INCORPORATED IN NEW SOUTH WALES
Lester Tropman Architects Registration: 3786 John Tropman Architects Registration: 5152



Report Register

The following table is a report register tracking the issues of the *Oran Park (aka Catherine Park) Conservation Management Plan* prepared by Tropman & Tropman Architects. Tropman & Tropman Architects operate under a quality management system, and this register is in compliance with this system.

| Project Ref No. | Issue No. | Description | Prepared by | Approved by | Issue To | Issue Date |
|------------------------|------------------|---|------------------------|--------------------|--|-------------------|
| 1304:CMP | 01 | Preliminary Draft Conservation Management Plan | Joanne Lloyd | Lester Tropman | Trevor Jensen Via Email | 24.06.13 |
| 1304:CMP | 02 | Draft Conservation Management Plan | Joanne Lloyd | Lester Tropman | Trevor Jensen Via Email | 25.09.13 |
| 1304:CMP | 03 | Final Conservation Management Plan | Joanne Lloyd | Lester Tropman | Trevor Jensen Via Email | 05.11.13 |
| 1304:CMP | 04 | Final Conservation Management Plan | Joanne Lloyd | Lester Tropman | Terry Goldacre Trevor Jensen | 16.01.14 |
| 1304:CMP | 05 | Final Conservation Management Plan | Linda Storey | Lester Tropman | Terry Goldacre Trevor Jensen | 09.09.14 |
| 1304:CMP | 06 | Final Conservation Management Plan | Linda Storey | Lester Tropman | Terry Goldacre Trevor Jensen | 29.10.14 |
| 1304:CMP | 07 | Final Conservation Management Plan | Joanne Rogers | Lester Tropman | Terry Goldacre Trevor Jensen | 05.12.16 |
| 1304:CMP | 08 | Final Conservation Management Plan | Nica Javadi | Lester Tropman | Terry Goldacre Trevor Jensen Tim Goldacre | 09.12.16 |
| 1304:CMP | 09 | Final Conservation Management Plan | Linda Storey | Lester Tropman | Tim Goldacre | 02.02.17 |
| 1655:CMP | 10 | Final Conservation Management Plan | Nica Javadi | Lester Tropman | Tim Goldacre | 10.03.17 |
| 1655:CMP | 11 | Final Conservation Management Plan | J. Rogers N. Javadi | Lester Tropman | Tim Goldacre | 29.03.17 |
| 1655:CMP | 12 | Final Conservation Management Plan | J. Rogers N. Javadi | Lester Tropman | Tim Goldacre | 04.04.17 |
| 1655:CMP | 13 | Final Conservation Management Plan | J. Rogers N. Javadi | Lester Tropman | Tim Goldacre | 27.10.17 |
| 1655:CMP | 14 | Final Conservation Management Plan | J. Rogers N. Javadi | Lester Tropman | Tim Goldacre | 02.11.17 |
| 1655:CMP | 15 | Final Conservation Management Plan | J. Rogers N. Javadi | Lester Tropman | Tim Goldacre | 22.11.17 |
| 1655:CMP | 16 | Final Conservation Management Plan | J. Rogers N. Javadi | Lester Tropman | Guy Evans Tim Goldacre & NSW Heritage Council | 24.11.17 |
| 1655:CMP | 17 | Final CMP following Heritage Council comments for internal review | J. Rogers N. Javadi | Lester Tropman | Guy Evans | 28.06.18 |
| 1655:CMP | 18 | Final CMP following Heritage Council comments | J. Rogers N. Javadi | Lester Tropman | Guy Evans Tim Goldacre & NSW Heritage Council | 14.08.18 |
| 1655:CMP | 19 | Final CMP following Heritage Council comments | J. Rogers N. Javadi | Lester Tropman | Guy Evans Trevor Jensen & NSW Heritage Council | 19.03.19 |
| 1655:CMP | 20 | Final CMP following Heritage Council comments | J. Rogers N. Javadi | Lester Tropman | Guy Evans Trevor Jensen & NSW Heritage Council | 20.03.19 |

| | | | | | | |
|----------|----|---|------------------------|-------------------|---|----------|
| 1655:CMP | 21 | Final CMP following Heritage Council comments | J. Rogers N. Javadi | Lester Tropman | Guy Evans Trevor Jensen & NSW Heritage Council | 10.04.19 |
| 1655:CMP | 22 | Final CMP following Heritage Council comments | J. Rogers N. Javadi | Lester Tropman | Guy Evans Trevor Jensen & NSW Heritage Council | 17.05.19 |
| 1655:CMP | 23 | Final CMP following Heritage Council comments | J. Rogers N. Javadi | Lester Tropman | Guy Evans Trevor Jensen & NSW Heritage Council | 20.05.19 |

EXECUTIVE SUMMARY

Conservation Management Plan for Oran Park

This Conservation Management Plan has been prepared for Oran Park (also known as Catherine Park) for Hixson Pty Ltd. The overall aim of this Conservation Management Plan is to review, investigate and analyse the physical evidence available to formulate a statement of cultural significance, and to provide management guidelines to enable this significance to be retained in future use and development.

The main points of this study can be understood by reading the following sections of the report.

Analysis of Documentary and Physical Evidence (Section 4.0)

This study in brief concludes that Oran Park is in fair condition. The physical alterations to the original form and configuration of the house and coach house can be understood. The avenues of trees to the south-east of the house remain in part to demarcate the pathway of the original driveway leading from the corner of Camden Valley Way and Cobbitty Road (Oran Park Drive).

It is critical that any works at the site be documented and implemented in a way that allows for the retention in-situ of the maximum amount of existing significant fabric.

Assessment of Cultural Significance (Section 5.0)

Oran Park has historical, aesthetic, social and technical/research significance at a State level to the Camden Local Government Area and the State of New South Wales.

Constraints and Opportunities (Section 6.0)

Generally the Oran Park, grounds and associated recreational and service structures should be retained, conserved and maintained within a designated heritage curtilage zone and homestead lot. Generally, the external and internal planning and detailing features of the house should be respected and appropriately conserved.

Conservation Policy (Section 7.0)

This study suggests conservation strategies for the site, as well as various recommended actions which should be taken to conserve the existing place. The house requires repair and maintenance works. Extensive repair and maintenance works have been undertaken to the Ground and First floor levels.

Any present and/or future design proposals should be evaluated and reviewed in association with the conservation policies and recommendations provided in this report to ensure that the significant heritage values of the site are retained and fully interpreted by the community.

In summary, we believe that if the place is carefully developed and regular maintenance is undertaken, it can retain its heritage significance, be able to be interpreted as a homestead and a former rural gentleman's estate and thereby play an important function for the local community.

Public Domain Strategy

A Public Domain Strategy has been prepared by Oculus in March 2017 on the Oran Park Heritage Curtilage. Its purpose is to guide design, character and themes within public spaces of the heritage Curtilage, guided by the framework contained within this Conservation Management Plan document.

ADDENDUM NOVEMBER 2017

This Conservation Management Plan was first commenced in 2013. The main focus has always been on the SHR Curtilage Zone – including the House and Coach House – as the surrounding lands had been earmarked for urban release and approved for residential subdivision.

The following aerial photographs from Nearmap.com, supplied by JMD Development Consultants, show the extent of the approved residential subdivision works that have taken place to date and provide a better understanding of the current context of this report, in particular why the focus is on the SHR curtilage zone and the Stage 6 Subdivision area.

..



Figure 1: Outlines the SHR curtilage overlaid onto a c2013 aerial photograph showing extent of the subject site. The Homestead Lot is outlined in yellow. Source: Oculus Public Domain Strategy March 2017 pg.4. N↑. Not to scale.



Addendum Figure 2:
Aerial image dated
10 August 2015
showing the Oran
Park Estate before
major residential
subdivision works
had commenced at
the site.

Source: JMD
Development
Consultants,
nearmap.com

N↑



Addendum Figure 3:
Aerial image dated
19 November 2015
showing the Oran
Park Estate. Clearly
visible are grading
works to the site as
well as the
commencement of
residential streets
and roadways.
Source: JMD
Development
Consultants,
nearmap.com



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1.0 INTRODUCTION

1.1 Brief

This Conservation Management Plan has been prepared for Oran Park for Hixson Pty Ltd. The overall aim of this Conservation Management Plan is to review, investigate and analyse the physical evidence available to formulate a statement of cultural significance, and to provide management guidelines to enable this significance to be retained in future use and development relating to the Oran Park.

Note: The Oran Park Estate residential subdivision has already been approved and works have been underway for some time, including within the SHR curtilage zone. Refer to the Figure 1.

This report follows the guidelines by Australia ICOMOS Burra Charter and *The Conservation Plan* by J. S. Kerr.

1.2 Study Area

For the purposes of this report the *place*, as defined in the Burra Charter, is to be known as the subject site or study area. Refer to Figures 4 to 6.

1.2.1 Subject Site

The subject site is located on 112-13 Oran Park Drive, Oran Park NSW (formerly 931 Cobbitty Road, Oran Park). The subject SHR site covers an area of approximately 14 hectares and is irregular in shape. It is comprised of part Lot 27 of DP 213330. It is situated on the northern side of Oran Park Drive and is roughly centrally located between Camden Valley Way to the east and The Northern Road to the west.

1.2.2 Subject Buildings and Site Elements

Oran Park (also known as “The Farm” by the Dawson-Damer family) is listed as an item of State heritage significance (SHR Listing number 01695, gazetted 5 March 2015). The subject site contains Oran Park, a two-storey Georgian Revival style homestead which is a successful c.1940 adaptation of a Victorian Villa with a rear access, basement level and a two-storey rear wing. The Oran Park Estate contains the following structures and features:

- Southern straight access laneway from Oran Park Drive (c1947-1956, golf course use removed this laneway c1960-1970, reinstated c1970)
- Formal Carriage Loop (c1870, c1940).
- South Creek and lagoons and dams
- Paddocks and fencing for agrarian cropping, grazing and livestock management
- Oran Park House (c1865, c1930, c1940, c1990)
- Garden (c1865, c1930, c1940, c1990)
- Coach House (c1837, c1865-c1930, c1940, c1995)
- Garden Equipment Store (c1990)
- Productive Garden (c1940, c1990)
- Caretaker’s House (early twentieth century – relocated to Oran Park in 1940s)
- Tennis Court (c1900)
- Swimming Pool (c1975)
- Large Machinery Shed (c1980)
- Silo (c1920)
- Two Elevated Water Tanks and Tank Stands (c1980)

1.3 Methodology

The method follows that set out in the NSW Heritage Manual and *Assessing Heritage* Significance documents provided by the NSW Heritage Branch and is in accordance with the Australia ICOMOS *Burra Charter* and *The Conservation Plan* by J. S. Kerr.

1.4 Limitations

The subject area of this report focuses generally on the approved Stage 6 subdivision area of the Oran Park Estate, with specific focus on the SHR heritage listed curtilage area of the site. Refer to Figures 8-12.

No intervention to fabric was undertaken. Existing historical information was utilised and no further historical research was undertaken through the course of this project.

Detailed Aboriginal Heritage of the site falls out of the purview of this study. General information on the area only is provided. Given the 200 years of European settlement and cultivation of the subject property, Aboriginal heritage/archaeology is unlikely to remain on the site.

NOTE:

There are no moveable heritage items or contents on the site. The estate was handed over with vacant possession. Any previous contents and/or moveables as well as their provenance, significance and current whereabouts are unknown.

Historical research has been unable to uncover architects/designed to date and they currently remain unknown.

1.5 Author Identification

TROPMAN & TROPMAN ARCHITECTS:

| | |
|----------------|---|
| Lester Tropman | Director, Heritage Conservation Architect |
| Joanne Rogers | Project Manager (Heritage/Interpretation) |
| Nica Javadi | Project Architect |

CONSULTANTS

| | |
|-------------------|---|
| Rosemary Broomham | Consultant Historian and Archaeologist |
| Tony Lowe | Director, Casey & Lowe |
| Sandra Kuiters | Archaeologist and Artefact Specialist, Casey & Lowe |

All Tropman & Tropman authors listed above contributed to all sections of this report, with relevant information included from subconsultants and previous reports where appropriate.

1.6 Terminology

The terminology used in this report follows the conservation terms as used in the Australia ICOMOS *Burra Charter*.

1.7 Previous reports, available information and background material

This report has been prepared with the use of the following references:

- Tropman & Tropman Architects, *Oran Park Precinct Conservation Management Plan*, November 2006
- Tropman & Tropman Architects, *Curtilage Study & Development Capability Study*, 2004
- Casey & Lowe, *Catherine Park House, Oran Park Drive, Oran Park, Archaeological Impact Assessment and Research Design*, August 2017

- Kelleher Nightingale Consulting Pty Ltd, *Catherine Park Cultural Heritage Assessment Report*, June 2014
- Kelleher Nightingale Consulting Pty Ltd, *Catherine Park Aboriginal Archaeological Assessment Test Excavation Report*, May 2014
- Kelleher Nightingale Consulting Pty Ltd, *Catherine Fields (Part) Precinct South West Growth Centre Aboriginal Heritage Assessment*, July 2012
- Godden Mackay Logan, *Oran Park House Conservation Management Plan (DRAFT)*, June 2010
- Godden Mackay Logan, *Catherine Fields (Part) Precinct Non-Indigenous Heritage Assessment*, April 2012
- Britten and Morris, *Colonial Landscapes of the Cumberland Plain*, 2000
- Australia ICOMOS 2000, *Australia ICOMOS Charter for the Conservation of Cultural Significance (The Burra Charter) and Guidelines to the Burra Charter: Cultural Significance, Conservation Policy, and Undertaking Studies and Reports*, Australia ICOMOS, ACT.
- Heritage Office 1996, *Conservation Management Documents*, Heritage Office, Sydney. Revised 2002.
- Heritage Office 2001, *Assessing Heritage Significance*, Heritage Office, Sydney.
- Kerr, James Semple 2000, *The Conservation Plan*, National Trust of Australia (NSW), Sydney.

Note: Unless otherwise stated, all images are by the authors and were taken during the course of this study.

Refer also to the Bibliography in Section 2.3.14 (pg.42) of this report.

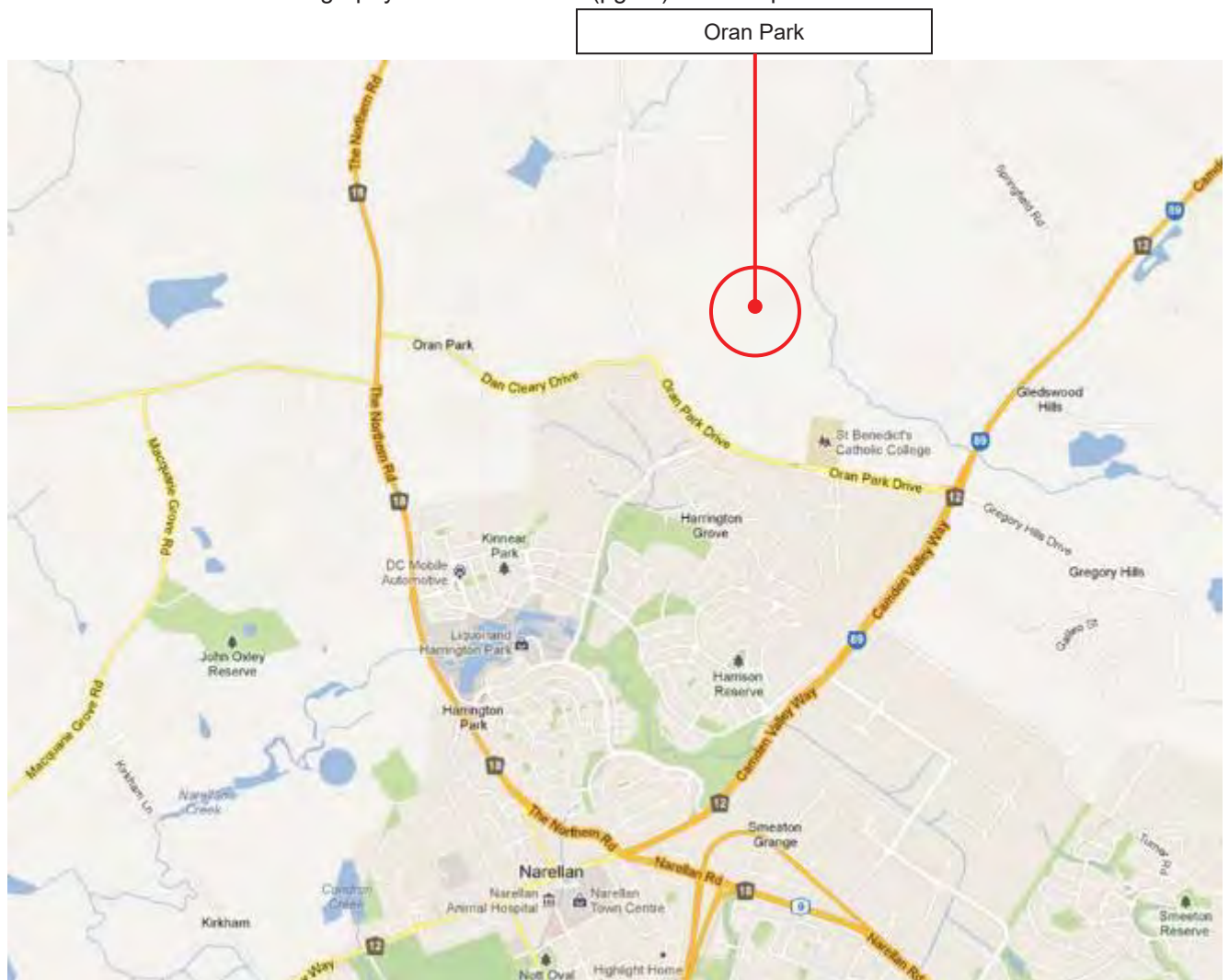


Figure 4: Location Plan. Google maps.



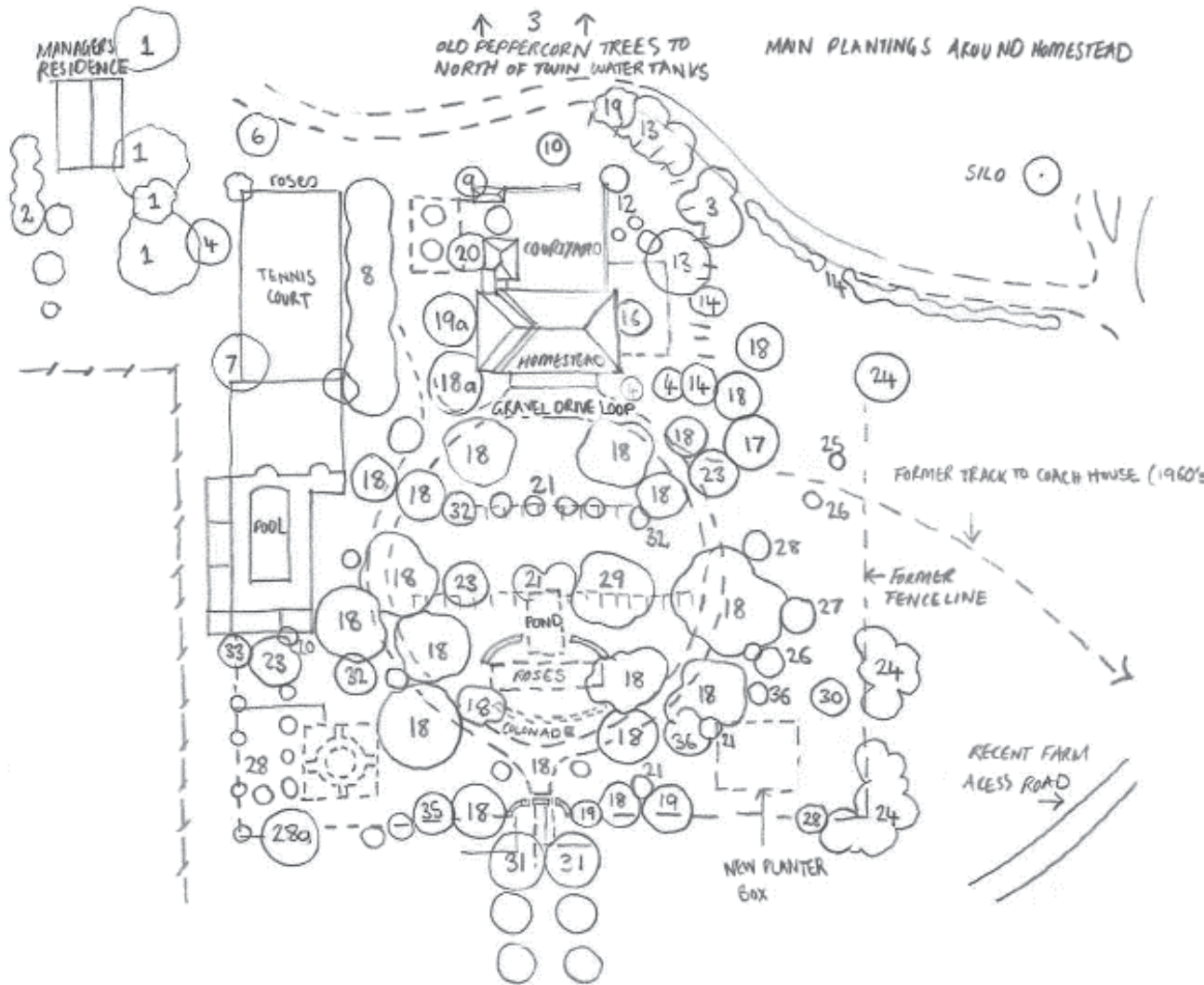
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Figure 5: Location plan showing area of Oran Park, Lot 27 DP 21330 and location of Oran Park Homestead.
Source: Google Maps c2016.



Figure 6: Aerial photograph showing Oran Park House. Source: Google Maps c2016.

N↑



↑N

Figure 7: Site Plan also showing landscape plantings and features. Source: Base Plan GML:2010, updated by TTA 2017.

A schedule of the plantings is contained overpage.

Schedule of plantings:

| No. on plan | Species | Comments |
|--------------------|--|---------------------------|
| 1 | <i>Lophostemon confertus</i> (Brush Box) | Probably 1940s plantings |
| 2 | Various recent plantings but old stump present southern end of hedge | |
| 3 | <i>Schinus areira</i> (Peppercorn Tree) | Older planting |
| 4 | <i>Calodendron capense</i> (Cape Chestnut) | Recent |
| 5 | <i>Eucalyptus sp.</i> (Peppermint) | Recent |
| 6 | <i>Populus sp.</i> (Poplar) | Recent |
| 7 | <i>Eucalyptus sp.</i> | Recent gum |
| 8 | <i>Tecomaria capensis</i> (Cape Honeysuckle) | Old double hedge planting |
| 9 | <i>Plumeria sp.</i> (Frangipani) | Several decades old |
| 10 | <i>Tamarix sp.</i> (Tamarisk) | Probably recent |
| 11 | <i>Grevillea robusta</i> (Silky Oak) | Recent group of 3 |
| 12 | <i>Albizia sp.</i> + Lemon tree | Small group—recent |
| 13 | <i>Corymbia maculata</i> (Spotted Gum) | Recent |
| 14 | <i>Malus sp.?</i> (Apple?) | Recent |
| 15 | <i>Wistaria sp.</i> (Wisteria) | Possibly old |
| 16 | <i>Cupressus sempervirens</i> (Roman Cypress) | Possibly old |
| 17 | <i>Jacaranda mimosifolia</i> (Jacaranda) | Recent |
| 18 | <i>Ulmus chinensis</i> (Chinese Elm) | Many 1940s plantings |
| 18a | <i>Ulmus chinensis</i> (Chinese Elm) | Pre-1940s? |
| 19 | <i>Olea europaea ssp. cuspidata</i> (African Olive) | Recent |
| 19a | <i>Olea europaea ssp. cuspidata</i> (African Olive) | Pre-1940s? |
| 20 | <i>Nerium oleander</i> (Oleander) | 1940s? |
| 21 | <i>Lagerstroemia indica cultivars</i> (Crepe Myrtle) | Recent |
| 22 | <i>Jasminium sp.</i> (Jasmine) | Large clump (old?) |
| 23 | <i>Fraxinus raywoodii</i> (Desert Ash) | Recent |
| 24 | <i>Eucalyptus spp.</i> (various species) | Recent |
| 25 | <i>Acca sellowiana</i> (Feijoa) | Recent |
| 26 | <i>Lochroma cyaneum</i> | Recent |
| 27 | <i>Cotoneaster sp.</i> | Recent |
| 28 | <i>Araucaria cunninghamii</i> (Hoop Pine) | Recent |
| 28a | <i>Araucaria cunninghamii</i> (Hoop Pine) | 1940s |
| 29 | <i>Pistacia chinensis</i> | Recent |
| 30 | <i>Pyrus sp.</i> (Pear) | Recent |
| 31 | <i>Podocarpus falcatus</i> (Outeniqua Yellowwood) | Part of 1940s avenue |
| 32 | <i>Phoenix canariensis</i> (Canary Island Date Palm) | Recent |
| 33 | <i>Prunus sp.</i> (Ornamental Plum) | Recent? |
| 34 | <i>Quercus robur</i> (English Oak) | Recent |
| 35 | <i>Crataegus laevigata</i> (Hawthorn) | Recent? |
| 36 | <i>Ulmus procera?</i> (English Elm) | Recent |

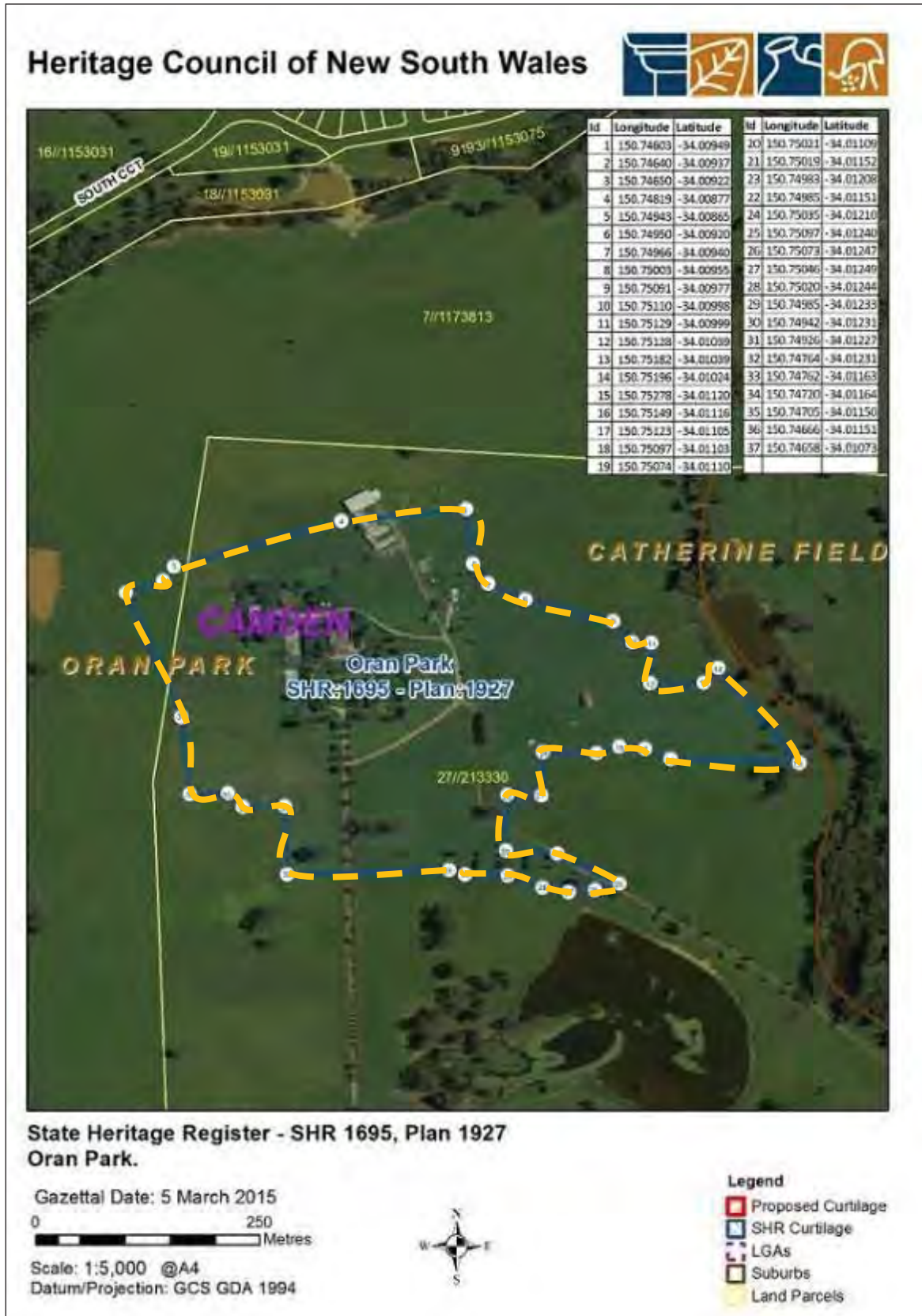


Figure 8: Aerial photograph showing Oran Park SHR Curtilage marked in an orange dashed line, this is the area in which the State Heritage Registered Oran Park is located.
 N ↑



Not to scale

N↑

Figure 9: Oran Park outer Heritage Principles plan showing the important view lines and proposed and approved controls surrounding the house lot in the current residential subdivision of the property. This figure was prepared to inform the Heritage Exemption Guidelines and does not preclude other forms of development.



Figure 10: 2017 aerial photograph with the boundary of the Indicative Layout Plan for the Oran Park Estate shown in blue, and the boundary of the Stage 6 subdivision (incorporating Oran Park homestead lot and the SHR curtilage of the property) shown in red. Source: Casey & Lowe: 2017:pg.1 – base image Google 2017.



Figure 11: The red line indicates the boundary of the approved Stage 6 subdivision of the Oran Park Estate. The yellow arrow is pointing to Oran Park House. Source: Casey & Lowe: 2017: pg.2 – base image: Google 2017.



N↑

Figure 12: Overlay on 2017 aerial showing the approved Stage 6 subdivision boundary in RED, the SHR heritage curtilage in YELLOW and a proposed fence line around the homestead area in BLUE. Source: Casey & Lowe: 2017:pg.4 – base image Google 2017.

2.0 DOCUMENTARY EVIDENCE – EUROPEAN HISTORY

The following history is contained within the Tropman & Tropman Architects 2006 Conservation Management Plan and was prepared by Rosemary Broomham. No further historical research was undertaken for this report.

2.1 Indigenous Heritage¹

2.1.1 A Brief Aboriginal Ethnography

At the time of European settlement in the region it is believed that the study area, referred to by early European settlers as the “Cow Pasture” or “Cowpastures” (Mylrea 2001:1) was occupied by the Tharawal (‘Darawal’) Aboriginal people (Tindale 1974, Mylrea 2002:1). However, based upon early historical accounts the study area appears to have been, on occasions, an area of interaction and possibly ‘dual occupancy’, particularly between the Tharawal and Gundungurra ‘tribes’.

In support of this conclusion, Gundungurra man William ‘Werriberrie’ Russell, in his 1914 ‘recollections’, while naming the local Camden-Cowpasture Tharawal as the “Cubbitch Barta” (“Cubbitch-Batha”) (Russell, W. 1991:20-21), mentioned the Mundingong Aboriginal people, a “...Camden band of the Dharug tribe ...”. Russell named the Camden Tharawal’s ‘chief’ at the time of his childhood (c.1830) as being “Bundle” and their language as ‘Gur-gur’ (1991:20).

It is believed that the Tharawal occupied country from Botany Bay to the Shoalhaven River and inland to Camden. The Gundungurra’s ‘tribal’ land is believed to have extended to the south, south-west and west of Camden roughly from Goulburn in the south and north along the Wollondilly and Nepean Rivers, whilst the Eora and Dharug Aboriginal people are believed to have inhabited the area immediately to the north and to the north-east of the Tharawal (Mylrea, 2002:2).

There exists evidence of extensive Aboriginal occupation throughout the southern Cumberland Plain region, of which Camden is described as being a part. The Tharawal people are known to have exploited a broad range of natural resources. Despite the nature of the prevailing landscape it is believed that occupation was not restricted to major riverine margins such as along the Nepean River.

Whilst the Nepean River valley and associated riverine resource zones within the vicinity of the study area are recognised as having been major Aboriginal occupation areas as well as providing important plant, animal and material resources, the adjacent study area ridges and spurlines were also important elements of the traditional Aboriginal movement corridors which are known to have traversed the study area landscape. Natural resources contained within and immediately adjacent to the study area would have been an important component of the local hunter-gatherer economy.

Stockton (1993), in his well-researched and authoritative account of Aboriginal life in the adjacent lower Blue Mountains region provided the following description of Aboriginal social life at the time of European settlement. The consultant is of the opinion that there is little doubt that there would have been distinct similarities in lifestyle between the two Aboriginal groups mentioned by Stockton and the Camden area’s Tharawal people, the Cubbitch Barta, particularly those living mainly an inland existence:

“...there was a local population which included the Dharug and Gundungurra tribes that we have called the Mountain People. Their social organisation was similar to that in the rest of the country, with what might

¹ Section 2.1 has been taken from Central West Archaeological and Heritage Services Pty Ltd, *A Preliminary Aboriginal Archaeological Study of the Proposed Harrington Park 2 and Mater dei Residential Subdivisions, near Camden, NSW*, November 2004, pp.19-21 which is contained in Clive Lucas Stapleton and Partners Pty Ltd, *Harrington Park Stage 2 and Mater Dei Heritage and Landscape Study*, October 2004, Appendix B.

be called a hearth group of between two and a dozen people, usually a family with friends or relatives; a band of several hearth groups which controlled territory and could deny access to food and other resources and which consisted of forty to fifty people; and finally a tribe of around five hundred people. There was an adequate food supply from a range of ecological zones that provided a nutritious and varied diet" (Stockton 1993:99).

Initial accounts of early contact between European explorers in the region indicated that relations between the adjacent Dharug people downstream along the Nepean River and the European explorers were, for the most part, relatively friendly. Captain Phillip, in 1788, during exploration along the Hawkesbury River (the lower end of the Nepean River), described how camps and meals were shared with the local Aboriginal people.

Observations by early European explorers cited by Mylrea (2002:1-10) included anecdotal accounts by Barrallier and Caley, c.1802, and later by Governor Macquarie (c.1810) and by early settlers Macarthur, c.1805 and Hassall, c.1816.

There appear to be only brief ethnohistorical references to Aboriginal people within the immediate vicinity of the study area, however the accounts which do exist paint a reasonably good picture of Aboriginal-European relations during the period of early 'white' exploration and subsequent settlement throughout the region.

Whilst in relative terms there is scant mention of Aboriginal people in local history publications, the 1914 recollections of William "Werriberrie" Russell, a Gundungurra male said to have been of mixed (Aboriginal and European) descent, provides an insight into the lifestyle of the Gundungurra people. Russell's people are believed to have occupied the country to the west of Camden and Russell's recollections describe some of their interactions with the Camden Aboriginal people during the early to mid 1800s, not to mention his own interaction with the Aboriginal and non-indigenous communities.

Russell's recollections describe with some clarity the local Gundungurra and other group movements during the 'contact period', traditional hunter-gatherer activities and even tribal relationships and the disputes of local Aboriginal people at the time of early European settlement (Russell, 1991).

Based upon the information provided in the accounts above (e.g. Phillip, c.1788, Caley, c.1802 and Macarthur, c.1805), as was the case in most regions during first contact between Aboriginal people and the Europeans, relations tended to be reasonably peaceful. However, it would appear that as the local Aboriginal people came to realise that the Europeans had no intention of leaving and were in fact committed to the taking up of land that had been traditionally managed by specific Aboriginal custodians for many thousands of years, the potential for ill-feeling and outright hostility increased. At the time of European exploration through the region, Aboriginal people were living a very complete hunter-gatherer lifestyle, even practising fire-stick farming techniques. Unfortunately for the traditional owners of the land their idyllic and relatively unimpeded lifestyles were soon to change with the spreading of European settlers, of exotic diseases such as small pox and influenza and their rapid dispossession from their traditional lands.

Mylrea (2002:2) describes accounts of the changed circumstances by Governor Macquarie, who wrote about a number of incidents which occurred as a direct consequence of the spread of European occupation through the Cowpastures (Camden) area between 1805 and 1825, where *"...ill disposed Europeans had taken Liberties with their [Aboriginal] women. Because of such factors it was probably inevitable that there would be conflict. Atrocities and revenge killings were carried out by both Europeans and Aborigines."* In fact, the Macarthur and Hassall families encountered attacks by local and 'outside' Aboriginal groups in the Camden locality between 1814 – 1816.

It is interesting to note, however, that Governor Macquarie estimated the number of local Aboriginal people to be very few and a census in 1828 counted only 12 Aboriginal men, 9 women and 11 children. In 1846, the Reverend Thomas Hassall of the 'Denbigh' property (north of the

Mater Dei- "Wivenhoe" survey area) described the condition of local Aboriginal people to be generally of "...the greatest degradation" (Mylrea, 2002:3).

During 1845 a Select Committee investigating the situation of local Aboriginal people indicated that in the Campbelltown area the local Aboriginal population had decreased from around 15-20 people, and that those people remaining were not thought to be descended from the local 'tribe' (English, 1994:7).

According to Stockton (1993:118) the late 1800s saw the local Cumberland Plain (Tharawal, Dharug) people suffering invasion by Europeans almost to the point of extinction whilst the Gundungurra, suffering almost to the same extent, managed to retain elements of their traditional ways a little longer, having been able to retreat to isolated locations within their territory in places such as the Burragorang and Megalong Valleys and along the Cox's River. Fragments of these communities formed the Aboriginal fringe dwelling communities which lived around Katoomba during the late 1890s up until around 1950. Some of the people even found employment in Katoomba itself or on local farms in the Megalong Valley and around small mining villages scattered below the cliffs of Katoomba (Stockton 1993:122).

By the late 1850's traditional Aboriginal lifestyles had been seriously disrupted by pressures from European settlers and the rapid expansion of European settlement through the region, particularly to Bathurst plains to the west and the Goulburn district to the south-west. The effects of the often racist ethnocentric attitudes of the early white settlers meant that there occurred only scant documentation of traditional Aboriginal culture.

With dispossession from the land came the establishment of numerous Aboriginal fringe camps. Often the only safe havens for local area Aboriginal people were the fringe camps and the once avoided mission stations throughout the Sydney basin and adjacent Blue Mountains, e.g. the Congregationalist and Methodist Church managed Katoomba Mission, which was commenced around 1906.

2.2 Archaeological Background²

The oldest known date of Aboriginal occupation in the region, around 40,000 years ago (Nanson et.al. 1987) occurs from along the foot of the Blue Mountains escarpment (the western edge of the Cumberland Plain) at Cranebrook Terrace. The date was obtained from deep alluvial deposits within the Nepean River alluvial floodplain. Dibden (2002:13) has raised doubts about the 40,000 year date. The question over the accuracy of these dates arises from the issue of stratigraphic integrity. Stockton & Holland (1974) obtained a date of around 13,000BP from rock shelter deposits at Shaws Creek. The Shaws Creek site is also located along the western edge of the Cumberland Plain, near Emu Plains, adjacent to the Nepean River.

Evidence for occupation of the adjacent Blue Mountains to the west dates back around 22,000 years (Kings Tableland, Stockton 1993:32). It is believed that the Kings Tableland date represents sporadic occupation events associated with short term forays into this inhospitable Pleistocene environment during a glacial period, when the climate was much colder than today. At a Lake Burrill rock shelter on the South Coast a date of occupation of around 25,000 years was obtained, whilst archaeological excavation of a rock shelter near Springwood (approx. 30km to the north-west of the survey area) suggested occupation around 8,500 years ago (Stockton, 1993:37).

The most intensive levels of occupation in the region appear to have occurred only during the more recent Holocene Period (increasing levels from around 12,000 years ago). The intensification in occupational levels is believed to have occurred in response to a lessening in the severity of the environmental conditions. Whilst it is believed that the environment in the Blue Mountains region between 60,000 and 10,000 years ago was not generally conducive to Aboriginal occupation due to the generally colder and drier conditions associated with the last glacial period, the environment of the Cumberland Plain was certainly warmer and more conducive to Aboriginal occupation during that time. The gradual warming of the climate and

² Section 2.2 has been taken from Central West Archaeological and Heritage Services Pty Ltd, op cit, pp.22-23.

increasing precipitation levels from about 12,000 years ago meant that increased levels of occupation of the mountain regions to the west were more likely to occur.

About 4,000 years ago a dramatic change occurred in the stone tool technology of local Aboriginal people in the south-east of the country. This change is characterised in the stone tool assemblages of the Blue Mountains region with the apparent replacement of McCarthy's (1976:97) Capertian stone tool industry, which featured generally large, non-descript utilized flakes, with what became known as the Bondaian phase. This industry features a range of exquisitely produced small backed stone implements, e.g. 'bondi points', related 'geometric microliths' and 'elouera'. The reasons for and the purposes of these implements are still the subject of debate within archaeological circles in Australia today.

Stockton (1993:59) produced data on the frequency of site types within the adjacent lower-central Blue Mountains which indicated that open campsites dominate site types within the region, comprising around 30% of the total known sites. These were followed closely by sheltered sites (i.e. occupation sites found in association with sandstone rock shelters) 24%, axe grinding groove sites 20%, and rock art sites 17%. Rock engravings were found to be far less common through the region 3.6%, whilst stone arrangements comprised only 3.1% and scarred tree sties 0.45%.

The Springwood Creek rock shelter excavation (Johnson 1979, Stockton 1993) showed evidence of continuous occupation of the site right up to the time of European settlement (Stockton, 1993:37). The site contained evidence of an earlier Capertian stone tool industry overlaid by evidence of the Bondaian industry.

Stone tool assemblages in the Camden locality and adjacent lower Blue Mountains have been found to be dominated by alluvially sourced chert and quartz stone materials. Basalt has also been found to provide a major proportion of the region's stone tool assemblage (Mylrea, 2002:1, Stockton, 1993:37).

The source of stone materials found in sites within the Camden locality suggests that alluvial stone deposits associated with the Nepean (and possibly Georges) River were a major source of quartz and chert stone material and that a number of 'trade routes' radiated from the coast to the two rivers and even into the adjacent Blue Mountains (Mylrea, 2002, Stockton, 1993).

2.3 European Heritage

2.3.1 Introduction

The Oran Park precinct is bounded by Oran Park Drive (formerly Cobbitty Road), the Camden Valley Way (formerly the Hume Highway and originally called Cowpastures Road) and the Oran Park Town. It includes portions 59 and 60 of the Parish of Cook, County of Cumberland both granted in 1815. Initially Oran Park Estate was part of Harrington Park, a 2,000-acre grant that was later divided into two roughly equal parts by Cobbitty Road (now Oran Park Drive) and placed in different parishes; the southern section retained the name Harrington Park while the two parts of the northern section became Oran and Graham's Farm. A motor raceway to the west, dating from the mid-twentieth century, also took on the name Oran Park. Located in the area that Europeans first knew as the Cowpastures, the precinct is south of Liverpool near Narellan, a government surveyed township dating from 1817 which is now an outer suburb of Sydney. This centre is only a few kilometres north of the Nepean River and Camden, the town that the Macarthur family opened up in 1840.

2.3.2 The Cowpastures Frontier

Europeans first crossed the land in the vicinity of Oran Park in August 1790 when marines Captain Watkin Tench, Lieutenant William Dawes and Surgeon George Worgan travelled southwest from Parramatta on an explorative expedition. They penetrated the bush as far as Mount Prudhoe, which they called Pyramid Hill. The second European party to go there left Sydney in 1795 to locate a herd of cattle that the local Aborigines had found. This journey occurred at a time when the colony's famine had recently been relieved by a shipment of livestock from India. Having confirmed that 61 cattle – descendants of those that had run away from Port Jackson in June 1788 were grazing south of the Nepean River – Governor Hunter led a small party to see the cattle and the country for himself. 'The Aboriginal people called the place Baragil or Baragal but Hunter christened it the Cowpastures, the name used in England for the common grazing land near a village.'³

The country impressed the Europeans but was then too far from the seat of government to be useful. Hunter left the cattle to multiply undisturbed. In 1800 when the herd numbered about five or six hundred, his successor Governor King tried unsuccessfully to muster them. When that plan failed he had a slab hut built at the river crossing place, to be used as a guard house and butchery. King tried to stop settlers from going to the Cowpastures and on 6 July 1803 he issued a proclamation forbidding people to cross to the western bank of the Nepean River without a permit signed by the Governor. In a later ruling on 1 March 1804 he continued the ban, adding that 'no ground whatever ought to be granted or leased to individuals on the other side of the Nepean'.⁴

The land in the vicinity was very good for grazing, a fact that John Macarthur found in 1804 when Captain Henry Waterhouse described the land on the far side of the Nepean in a letter.

After crossing the Nepean to the foot of what is called the Blue Mountains I am at a loss to describe the face of the country other than as a beautiful park, totally divested of Underwood, interspersed with plains, with rich, luxuriant grass; but for want of burning off, rank, except where recently burnt. This is the part where the cattle that have strayed are constantly fed – of course, their own selection...it appears that some meadows bordering on the banks of the Nepean River are evidently at times overflowed from the river; but it is not very common and cannot be done without sufficient time to drive away any stock if common attention is paid.⁵

It appears that a number of settlers occupied land on the Nepean from 1800, although no grants were issued there until 1805, and early accounts of this occupation suggest that most was on the north-eastern bank.

Captain Waterhouse was not the only person to wax lyrical about the Cowpastures. As Alan Atkinson reports, the river flats drew admiration from the Europeans who travelled through in 1795. They described 'large ponds covered with ducks and the black swan, the margins of which were fringed with shrubs of the most delightful tints'. Governor Bligh, a naval man, particularly admired the second type of country in the district rising gradually from the river as 'Hills and Dales, waving like the Sea, their Bases nearly uniting and rising as they advance towards the high Mountains [of the Razorback range]'.⁶ The Europeans thought the flats were perfect for cattle and the hills would carry sheep. They admired the absence of underbrush – probably achieved through Aboriginal burning off – and felt comfortable with a landscape that reminded them of an English gentleman's park.

On his return to England in 1801, John Macarthur had shown samples of his wool from Elizabeth Farm, Parramatta, to the Board of Trade and Lord Camden and persuaded them that New South Wales and Britain would both benefit from wool production. Lord Camden rewarded his enterprise with a grant of 5,000 acres on his return to the colony and another 5,000 if his sheep breeding

³ Alan Atkinson, *Camden: Farm and Village Life in Early New South Wales*, OUP, Melbourne, 1988, p 8

⁴ Proclamation 6 July 1803, King to Hobart, 1 March 1804, *Historical Records of Australia (HRA)* I, 4, pp 344, 463, see also p 494

⁵ Cited in Robert Murray, Kate White, *Dharug and Dungaree: The History of Penrith and St Marys to 1860*, Hargreen Publishing Company with Council of the City of Penrith, North Melbourne, 1988, p 183

⁶ William Bligh to William Wyndham, 31 October 1807, HRA 1vol 6, p 366

venture was successful. Macarthur chose the Cowpastures for his grant and, though King tried to prevent him taking it, he marked out his farms on 13 October 1805. Macarthur organised a 2,000-acre grant for his friend Walter Davidson, who allowed Macarthur to use it freely after he returned home. In this manner, Macarthur controlled 12 miles of the riverbank on the side where the cattle had discovered the best pastures near Sydney.⁷ Later purchases and exchanges increased the Macarthur land there to over 27,000 acres an endowment that Governor Macquarie greatly resented. *Figure 10.*

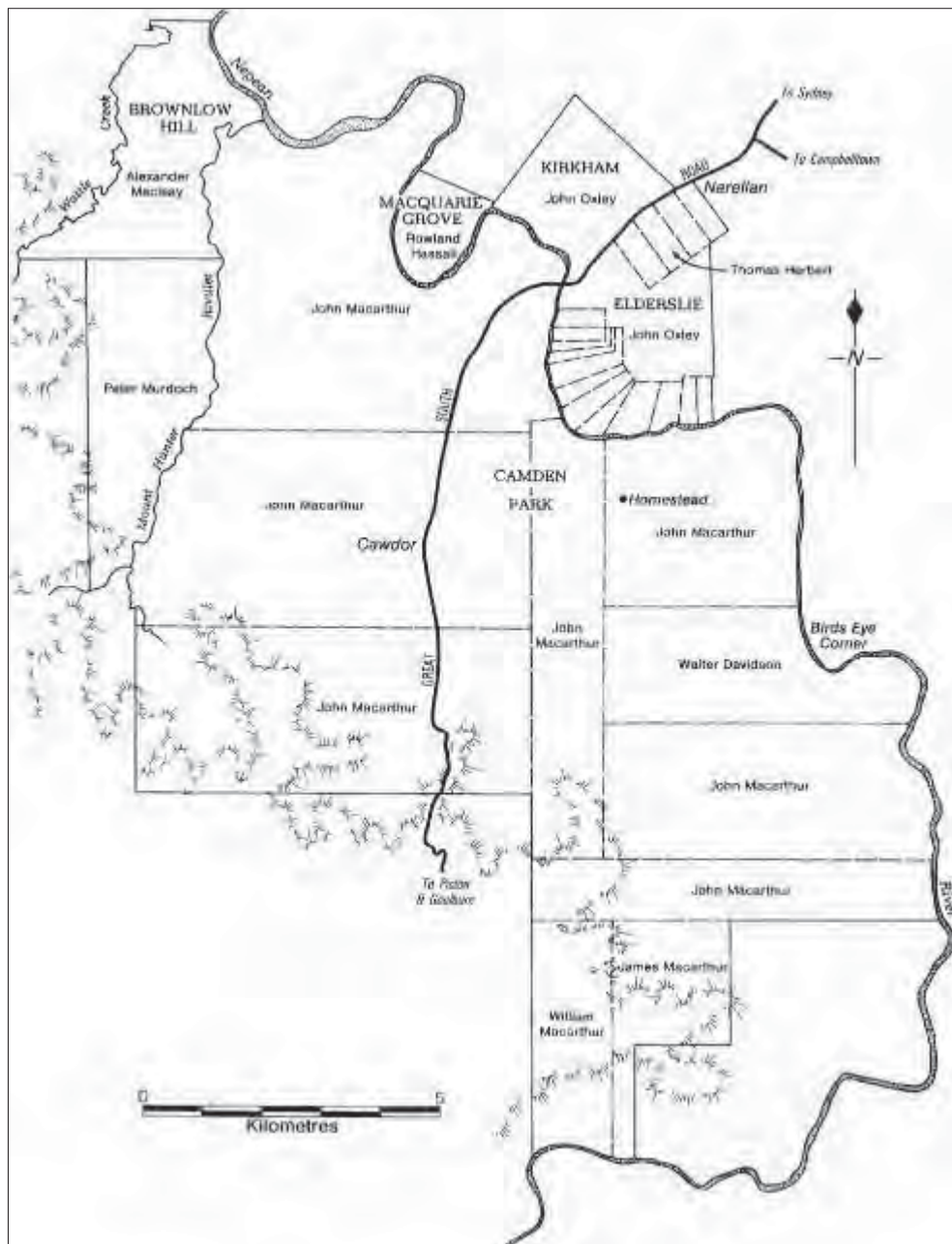


Figure 13: This map from Alan Atkinson's history, *Camden: Farm and Village Life in Early New South Wales*, shows John Macarthur's dominance of the land at the Cowpastures south of the Nepean. Not far north of Oxley's properties, Harrington Park enjoyed a similar milieu.

In spite of Governor Bligh's ruling that no further grants should be made at Cowpastures, small settlers made their homes on the Sydney side of the Nepean from about 1810. This move was part of a large push to extend the settlement southwards after floods and over-cultivation had blighted the Hawkesbury farming area. The New South Wales Corps deposed Bligh on 26

⁷ Alan Atkinson, op cit, p 10

January 1808 and during the interregnum, which lasted until Macquarie replaced Bligh in January 1810, members of the Corps served as lieutenant governors. Joseph Foveaux in particular thought Bligh's restriction of land grants was detrimental to the colony's progress and he granted land to all who requested it, spreading the small farmers broadly across the Cumberland landscape.⁸

Even so, as John Booth's map of 1810 indicates, the 'Cowpastures plains' was remote, at the edge of the known landscape. Immediately after the grants to Macarthur and Davidson – marked Carbeely, Manangle and Baraggle – the path of the river is only dotted and is labelled 'supposed course of the Nepean'.

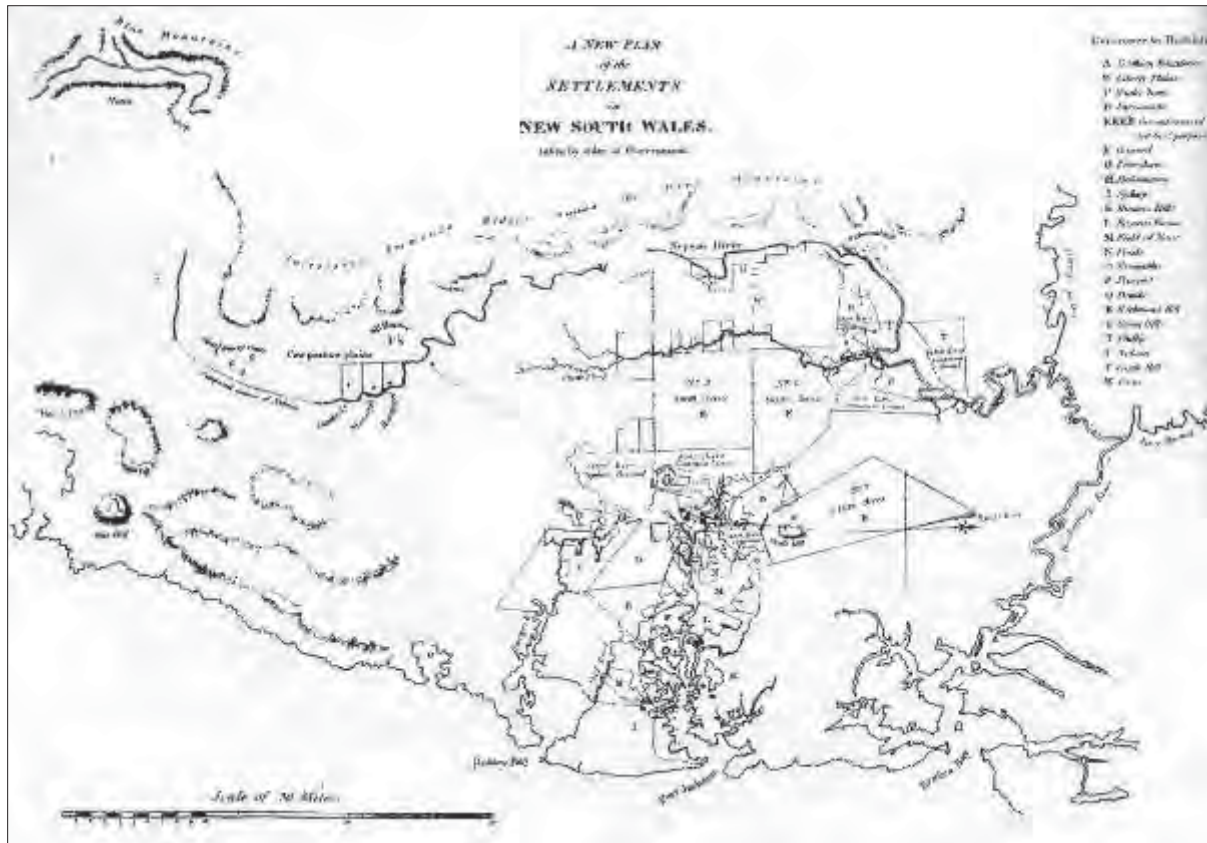


Figure 14: On John Booth's map of the settlements in New South Wales in 1810, the grants to Macarthur and Davidson can be seen on the left on the Cowpastures plains. ML SLNSW

Restoring order after the rebellion, Governor Macquarie recalled a number of the grants given out by Foveaux and Paterson during the interregnum but he agreed that the 'right' or northern bank of the Nepean should be settled. He had James Meehan survey the area and made additional grants on the Sydney side of the river. Some of these were modest, ranging from 50 to 200 acres, but others were extensive. Indeed, it was Macquarie who granted John Oxley an 820-acre farm (Elderslie) next to his existing property, Kirkham. He also granted the 2,000 acres that became Harrington Park to William Douglas Campbell and a farm, later named Netherbyres, to his lieutenant governor George Molle, both grants being issued in 1815. Macquarie later regretted his generosity because of the great numbers of cattle stolen from the government herds after the settlers had moved into the area.⁹

⁸ Rosemary Broomham, *Vital Connections: A History of Roads in NSW from 1788*, Hale & Iremonger, Sydney, 2001, p 31
⁹ Macquarie to Bathurst, 4 April 1817, *HRA*, 1, 9, p 349

2.3.3 The First Grants at Oran Park Precinct

2.3.3.1 *Lieutenant Governor George Molle*

George James Molle was born in 1773 to Scottish gentry as George Mow at Mains in Berwickshire. He and his brother William adopted the name Molle in 1789. George joined the Scots brigade and served in Gibraltar, the Cape of Good Hope, India, Egypt and Spain and received regular promotions until he was a lieutenant colonel in 1808. After service at the garrison in Gibraltar, he became commanding officer of the 46th regiment in 1813 when it was ordered to New South Wales. On reaching Sydney in 1814 he was appointed lieutenant governor under Macquarie and was elevated to the rank of brevet colonel.

Although the two men had been friendly in India, Molle believed that Macquarie did not give him sufficient authority in New South Wales. He received the 1,600 acre land grant adjacent to Campbell's Harrington Park near Narellan in 1815 but soon sided with the exclusives against Macquarie, complaining of the high prices in the colony and criticising Macquarie's encouragement of emancipists. More trouble was caused by William Wentworth's publication of a pipe lampooning Molle. The ill feeling that resulted caused Macquarie to request that the 46th regiment be removed. When the 48th regiment arrived, Molle left the colony for his next posting in Madras. He never returned to New South Wales and died at Belgaum in India in 1823. George Molle's estates that included the land next to Oran Park and Molles Mains on the opposite side of the Cowpastures Road passed to his eldest son William Macquarie Molle who was born in 1813 on the way to New South Wales. The property adjacent to Oran Park was later called Netherbyres.¹⁰

2.3.3.2 *Founder of Harrington Park – William Douglas Campbell*

Captain William Douglas Campbell was a member of the British merchant navy who worked initially in the India trade. He first visited New South Wales in 1797 on the brig *Deptford* that brought merchandise from Madras. Two years later he returned as captain of the *Rebecca* and came to Sydney again in 1801 as master of the brig *Harrington*. On the way back to Madras in 1803 he visited Chile and Peru for trade purposes and was so successful that he purchased a half-share in the *Harrington* and returned there the following year. On this occasion, he raided the coast on the 'somewhat flimsy excuse' that he believed England and Spain to be at war. When he next visited Sydney, Governor King detained the *Harrington* while he investigated whether Campbell's actions amounted to piracy. Though the officials in England judged Campbell's action to be highly questionable, they returned his ship but confiscated his prizes, which they sold for £5,054.¹¹

Campbell next entered the sandalwood trade with John Macarthur. His profits from delivering Fijian sandalwood to China and returning with oriental merchandise enabled him to buy the remaining share in the *Harrington*. Having been a close associate of John Macarthur before the NSW Corps deposed Governor Bligh in 1808, Campbell later fell out with Macarthur and supported Macquarie. In 1809, however, escaping convicts seized the ship and she was destroyed by her pursuers near Manila.

Campbell continued to trade sandalwood from Fiji until late that year when that resource was exhausted. He subsequently concentrated on the trade in salt pork from Tahiti that he had initiated in 1805. During one of his voyages he recaptured the *Venus* from Tahitian rebels and rescued the English missionaries escaping the civil war. Campbell returned to London where he succeeded in gaining compensation for the *Harrington*. The grant of 2,000 acres near Camden issued by Governor Macquarie on 10 June 1815 was his payment for that loss.¹²

¹⁰ David S. Macmillan, 'Molle, George James', *Australian Dictionary of Biography (ADB)*, Vol 2, p 243

¹¹ H. E. Maude, 'Campbell, William Douglas', *ADB*, Vol 1, p 208

¹² *Ibid*; National Trust listing of Harrington Park



Figure 15: This 1884 map of the Parish of Narellan shows the full extent of William Campbell's grant Harrington Park, part of which is in the Parish of Cook on the other side of the Cobbitty Road that borders Narellan. *ML SLNSW*

Campbell continued trading, though in a less flamboyant manner, until 1817 when he settled on his property naming it Harrington Park after his ship. He was the most knowledgeable navigator of the Pacific region. As well as having opened up the salt pork trade with Tahiti, he initiated the Tuamotu pearl shell trade in 1809, and established the Marqueses sandalwood trade with Garnham Blaxcell and others in 1814.¹³ During the next ten years he stayed mainly at his farm living in the house that he built there until his death on 3 March 1827.

In his analysis of colonial society, James Broadbent points out that, the County of Cumberland was a fully settled area by the late 1820s and its extremities could be reached in a day's drive.

It had been settled for over thirty years and the conflict with the wilderness, here largely emotional rather than physical, had been resolved. The mountains, once a sinister and formidable barrier, soon became no more than a tedious day's journey – or the picturesque backdrop to a cottage orné. Established colonists such as John Blaxland, second generation landowners, such as William Cox Junior, and a few new settlers and public servants, such as W. D. Campbell, John Campbell and Francis Forbes, began to build or rebuild, confidently encouraged by the prosperous economy and uninhibited by their environment.¹⁴

¹³ H. E. Maude, *op cit*

¹⁴ James Broadbent, *op cit*, p 150

Alan Atkinson notes that by this time the inhabitants of Cumberland 'had worked out more or less the spatial patterns which best suited the formats and requirements of their everyday lives'.¹⁵ Such acceptance permitted them to build more impressive homes. Nevertheless, while Campbell's house at Harrington Park is documented, it has not been possible to locate any information about William Molle's house at either Molles Mains or on the land next to Oran Park which was recorded as Netherbyres on Bemis's 1834 plan of the Cobbitty District in Cook.



Figure 16: In addition to Netherbyres to the left of Harrington Park, this plan of the Cobbitty District in Cook Parish shows another Molle grant with the name Catherine Field. Molles Mains was on the other side of the Cowpastures Road in the Parish of Narellan. ML SLNSW.

2.3.4 The Campbell Legacy 1827-1849

2.3.4.1 William Douglas Campbell's Beneficiaries – Murdoch, John and Robert Campbell

William Douglas Campbell bequeathed his real and personal property to his two nephews Murdoch and John Douglas Campbell, who had come to New South Wales under his patronage, stipulating that it should be divided between them in fair portions within twelve months of his death. However, the nephews decided to share the bequest equally with another nephew of William Douglas Campbell, Robert Mackay Campbell.¹⁶ The memorial recording this change was arranged on 15 and 16 March 1827 and registered on 10 May 1827 together with the explanation that William Douglas Campbell had intended to annul the existing will and make another to divide the real property between three nephews and give one-third to Robert Campbell.¹⁷

2.3.4.2 Sale of Oran to John Douglas Campbell 1829

On 30 August 1829 Robert Campbell assigned 700 to 800 acres of the Harrington Park land to John Douglas Campbell. By this time Cobbitty Road divided the original grant and the land that J D Campbell acquired was bounded on the south and east sides by Robert Campbell's own farm of Aberfoil and the Cobbitty Road, on the west by John Dickson Esq and on the north by Garnham Blaxcell's Curtis Park. The price was £600 paid in two instalments of £300 cash immediately and

¹⁵ Alan Atkinson, op cit, p 28

¹⁶ Will of William Douglas Campbell 7 August 1819, in Papers re Estate of William Campbell A4489, MLNSW

¹⁷ Memorial No 221 Book A, Lands Department

a note for the balance in six months. John Douglas Campbell paid his debt on 8 September 1829 and the agreement was confirmed on 12 February 1839 by John Douglas Campbell's payment of five shillings to Robert Mackay Campbell.¹⁸



Figure 17: This plan of the Cobbitty-Narellan area is from the Rev A. F. Paine's Narellan History from the Cobbitty Parish Records 1827-1927. ML SLNSW.

2.3.4.3 Sale of 300 acres to George Graham 1832

The main real estate component of the bequest, the 2,000-acre property Harrington Park, was divided into three portions. On 23 March 1832 Robert Mackay Campbell sold his 300-acre share of Harrington Park to George Graham, a farmer from Liverpool, New South Wales for £350. See Figure 14.

2.3.4.4 Murdoch Campbell's Harrington Park House and Land in Narellan Parish

A year after W. D. Campbell's death, the 1828 census recorded Mr Murdoch Campbell and Mrs A. Campbell living at Harrington Park with convict servants Sarah Maker, housemaid and William Bailey, cook. The farm had 800 acres of cleared land with 200 acres in cultivation and 150 cattle and nine horses. The convict labourers working the farm were Patrick Murphy, Samuel Lester, Lawrence Lyons, Abraham Malabar and Joseph Parker.¹⁹ In 1830 William Riley described the Campbells' altered residence as 'an elegant mansion on an eminence and about 800 acres cleared and in cultivation'.²⁰ It was one of many in a landscape dotted with the country villas and farms of the political and social leaders of New South Wales. Among them were John Oxley's Kirkham and Elderslie, Alexander Riley's Rabey, Edward Lord's Orielton, Garnham Blaxcell's Curtis Park, William Hovell's Glenlee, and Rowland Hassall's Denbigh all of whom were members of the ruling class in New South Wales.

¹⁸ PA 1834, State Records

¹⁹ Bruce Baskerville, Harrington Park History, Appendix A

²⁰ Ibid

2.3.4.5 *Murdoch Campbell's Murder 1833*

Murdoch Campbell was murdered at Harrington Park on 16 January 1833. Some accounts of this event state that the murderer was a convict; others describe him as a bushranger but the general outline of all versions of the story are similar. Murdoch Campbell was working in or near the barn when he heard people pursuing someone on the river flat. Seeing that the runaway had a gun, he fetched the blunderbuss from its place in the hall, ran out and cut off the offender calling to him to stop and give himself up. The man refused to yield and instead shot Campbell dead. Later, the murderer was caught, tried and hanged.²¹

2.3.4.6 *Death of William Douglas Campbell in Edinburgh 1838*

As Murdoch's sudden and unexpected death left him intestate and without heirs, his eldest brother William Douglas Campbell was declared his lawful heir. However, William Douglas Campbell also died intestate in Edinburgh in September 1838 and the property passed to his eldest son Alexander Campbell.²²

On 15 January 1839 John Douglas Campbell agreed to lease the 800-acre property "Oran" to Sydney gentleman Henry Keck Esq for eight years at £80 per year paid in six-monthly instalments. The agreement also provided Keck with an option to purchase the property at any time during the rental period for the price of £1,600.

2.3.4.7 *Lease of House and Land at Oran to Henry Keck 1839*

In the meantime the terms of his lease specified that he must finish the house that was already on the property in the following manner.

[He] will within Twenty four months from this date well and substantially brick nog and plaster in a workmanlike manner and with good materials the inside part of the said Messuage or Dwelling house and paint with three coats of good oil paint the wood and iron work thereof inside and outside And also shall and will at all times during the said Term and until such purchaser repair and keep repaired in like substantial manner and with like good materials at his and their own proper costs and charges the said messuage and buildings and the fences now standing or being on the said land and all erections and additions whatsoever which at any time in the said term shall be made...²³

The terms of this agreement confirm that John Douglas Campbell had commenced building a house at Oran Park before 1839, while at £1,600, the price of the property indicates that the house was a substantial building.

2.3.4.8 *The 1840s Depression*

The acute 1840s depression shocked the colonial ruling class when it caused a multitude of personal and business failures and brought moral degradation to those who were suddenly insolvent. It was first thought to be a temporary crisis associated with the bankruptcy of major flour millers in 1840 but, following the collapse of major banks, its effects were prolonged through much of the decade. Joint stock companies failed, whaling declined and profits from the wool industry proved too small to rescue the economy. The previously profitable property market collapsed and hundreds tried to subdivide and sell their landholdings. In the vicinity of Narellan alone, the Australian Auction Company offered allotments subdivided from the properties of Orielton, Netherbyres, Nonorrah and Moorefield as well as some land in Eastwood, all amassed by the wealthy Scottish engineer, manufacturer and grazier John Dickson in better times. Dickson himself had sold his flourmill and other factories and returned to England in 1834, long before the

²¹ Bruce Baskerville, Harrington Park History, Appendix B

²² Statutory Declaration in PA 1834, State Records

²³ Indenture, 15 January 1839, PA 1834, State Records

crisis, and commenced selling a portion of his 27,000 acres four years later. He died at his London home on 23 May 1843.²⁴

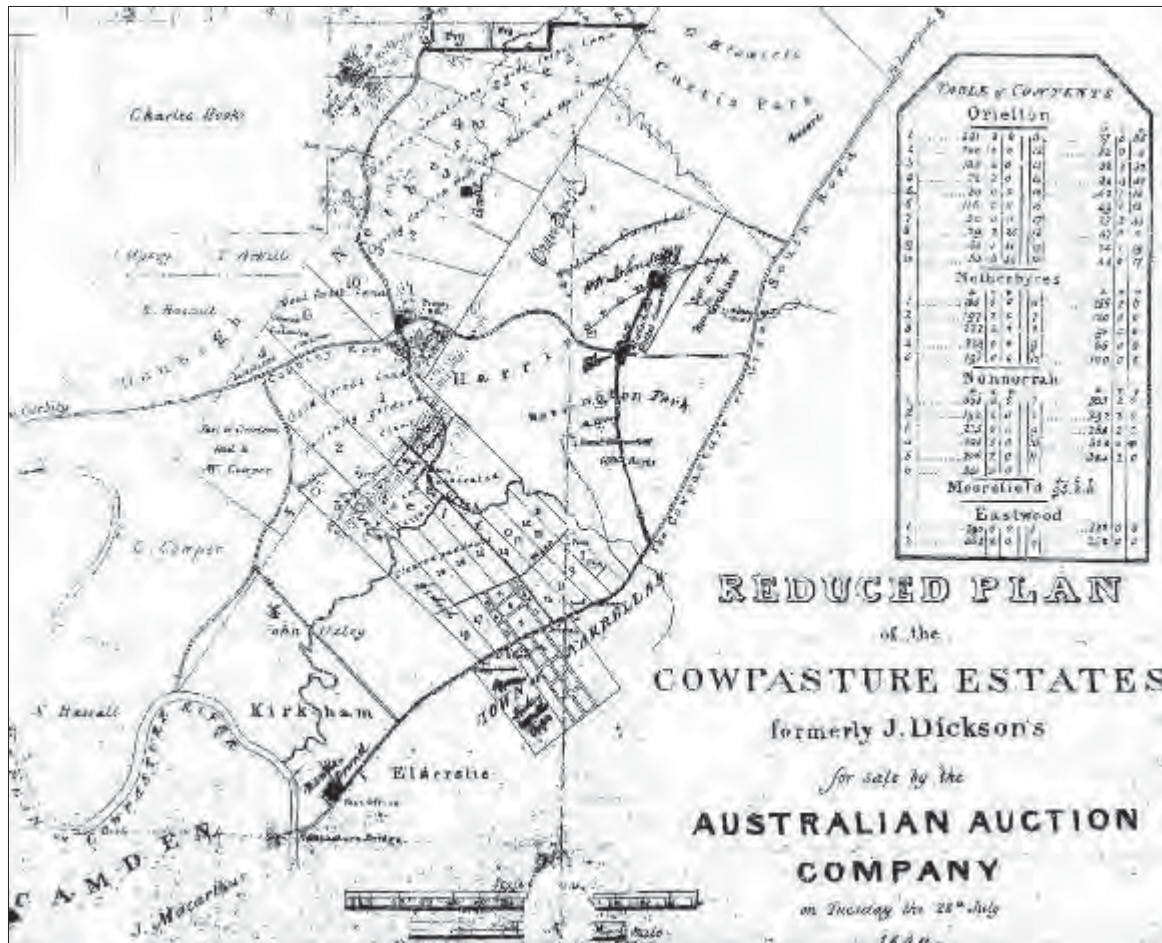


Figure 18: This detail from the 1840 sale notice for the Cowpastures Estate shows the subdivision of all the landholdings that John Dickson had collected during the property boom. It describes Netherbyres as 'Good forest land lightly covered with trees'. The shape of the Graham's property on this plan is inaccurate but later notations record William Henry Johnson as the owner of Oran Park. ML SLNSW.

2.3.5 An Aspiring Suitor? William Henry Johnson 1841-1869

2.3.5.1 *Purchase of House and Land at Oran by Henry William Johnson 1842*

Following an agreement signed in 1841, the worst year of the 1840s depression, the remainder of Keck's lease of Oran and the option to buy the house and land were transferred to Henry William Johnson. On 7 and 8 April 1842 Johnson completed the purchase of the property for £1,600. At that time Oran Park was described as:

800 acres more or less...And all buildings yards gardens orchards ways waters watercourses woods commons fences liberal privileges profits commodities advantages and appurtenances whatsoever to the said hereditaments...²⁵

On 18 June that year Johnson raised a mortgage of £625 from John Douglas Campbell that he repaid on 18 June 1846.

Johnson may have borrowed money to make additions to the house and other buildings at Oran Park. But the high price he paid for the property disproves the apocryphal tale that he built the

²⁴ G. P. Walsh, 'Dickson, John', *ADB* Vol 1, p 306

²⁵ Indenture of Assignment and Release Messrs J. D. Campbell and Henry Keck to Mr H. W. Johnson 12 April 1842, PA 1834, State Records

entire house in 1857 to improve his chances of marrying a wealthy woman. Johnson arranged another mortgage with Peter William Plomer in 1858 that was transferred to Thomas Barker in 1860. He continued to live at Oran Park until 1869 when he failed to keep up the payments on the mortgage and Barker foreclosed on him.²⁶

2.3.5.2 The Question of the Murdoch Campbell's Heir

Soon after Henry William Johnson purchased Oran Park, on 24 May 1849, Murdoch Campbell's elder brother, Alexander Campbell who lived in Edinburgh, brought a case against John Douglas Campbell's assuming ownership of Murdoch's property Harrington Park. Sydney lawyers examining the case stated that J D Campbell's action was wrongful and that Alexander should inherit the property, nor should Robert have made a claim against the estate of William Douglas Campbell.

The New South Wales Supreme Court in Equity ruled that Murdoch's elder brother William Douglas Campbell of Scotland was his rightful heir and after his death, the Harrington Park property should have passed to his eldest son, Alexander Campbell. John Douglas Campbell was ordered to pay the master in equity in the Supreme Court of New South Wales Samuel Frederick Milford £1,690.17 sh. 3 pence.²⁷ After settlement, Alexander Campbell agreed with John Douglas Campbell to release the property known as Oran Park to its current owner and occupier Henry William Johnson.²⁸



Figure 19: Titled 'Plan of Oran Park part of Wm Campbell's 2000 acres grant now the property of Thomas Barker Esq' the above diagram shows Oran Park and its neighbours as surveyed by Edward Knapp in 1867. Lands Department

²⁶ CT 78-147, Lands Department

²⁷ Papers re Estate of William Campbell A 4489 ML SLNSW

²⁸ Book 23 No 998, Lands Department

2.3.5.3 Thomas Barker Esquire, Oran Park 1869

London born Thomas Barker became the ward of engineer John Dickson after his parents died in 1808 and he came to Sydney in 1813 at age 14 as Dickson's apprentice. When he acquired Oran Park in 1869, he was one of the colony's wealthiest men. He had successfully managed several manufactories, including a flourmill and a woollen mill, held extensive grazing properties and owned the mansion Roslyn Hall at Darling Point. He was active in public life having been in the New South Wales Legislative Council from 1853 to 1856 and the Assembly from 1856 to 1857. His main country property in the County of Cumberland was Maryland, (formerly part of Nonorrah, one of the Dickson properties near Bringelly offered for sale in 1840). As the plan at Figure 17 shows, he also held Oran Park's western neighbour, Netherbyres.²⁹

2.3.6 The Moores of Campbelltown 1871-1938

2.3.6.1 Edward Lomas Moore, Oran Park 1871

The subsequent owner of Oran Park, Edward Lomas Moore, was a wealthy grazier who became one of the largest landowners in the Campbelltown district. However, as the son of a convict assigned to the Macquarie Fields estate, he had much humbler origins than Thomas Barker. E. L. Moore, who made his fortune by squatting on the Lachlan in the 1840s, was living nearby at Mollesmaine (also known as Molles Mains, Molles Main) when he purchased Oran Park, and also held the neighbouring property Netherbyres. Both these pieces of land were recorded on the same title and in 1882 E. L. Moore leased part of the combined property to a farmer Thomas Cadell (junior).³⁰ Moore and his family lived at Oran Park during the 1870s and early 1880s but he subsequently moved to a new house, Badgally (former Mollsmaine property) at Campbelltown. He died soon afterwards in 1887.³¹

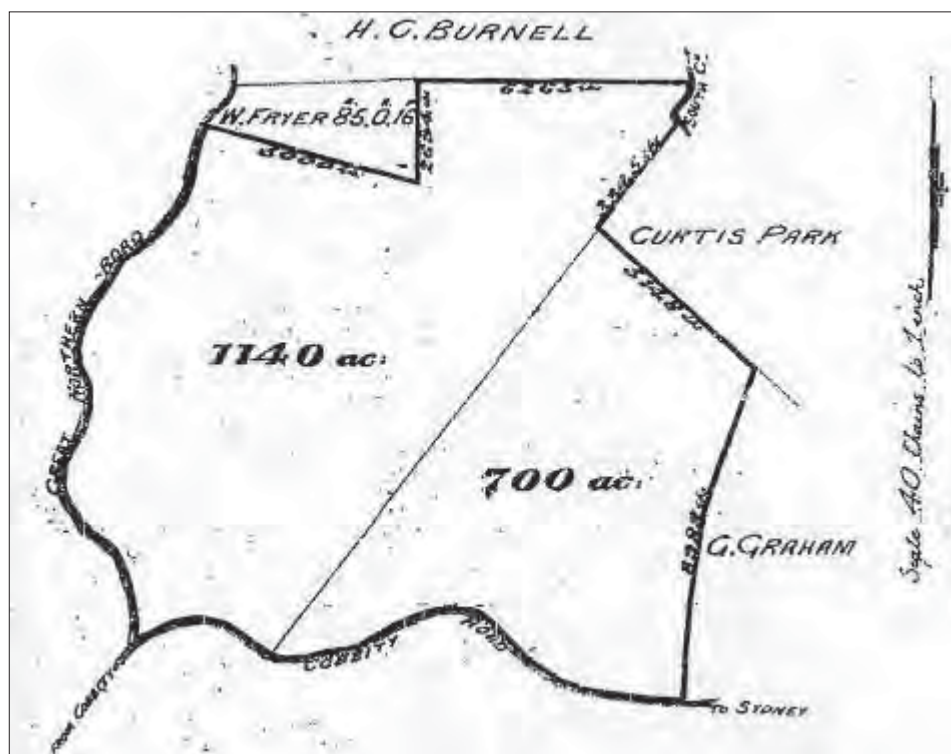


Figure 20: The plan on the left shows the two pieces of land E. L. Moore purchased from Thomas Barker.
CT 124-4 Lands Department

²⁹ G. P. Walsh, 'Thomas Barker', *ADB* Vol 1, pp 57-8

³⁰ CT 78-147 and CT 124-4, Lands Department

³¹ Carol Liston, *Campbelltown: The Bicentennial History*, Council of the City of Campbelltown, 1988, pp 69, 134

2.3.6.2 William and Alexander Lomas Inglis, Oran Park 1888-1904

On the death of Edward Lomas Moore, the 700-acre property at Oran Park passed separately to William and Alexander Lomas Inglis as joint tenants, the former being an auctioneer, the latter a gentlemen farmer at a nearby locality, The Oaks. The bequest was questioned and the issue not settled until it had been examined by two sets of new trustees appointed separately in 1889 and 1896. By the time the matter was resolved on 14 September 1904, only one of the joint tenants survived – Alexander Lomas Inglis but his ownership lapsed in favour of John Edward and Frederick Moore who were found to be in the correct line of inheritance.³²

2.3.6.3 John and Frederick Moore, Oran Park 1904-1907

The descendents who belatedly inherited Oran Park from Edward Lomas Moore in 1904 were John Edward Moore and Frederick Moore. Fred Moore was the better known of the two. Born locally and educated at King's School and the University of Sydney, he played an active role in his local community and was mayor of Campbelltown from 1901 to 1909.³³

2.3.6.4 Essington Moore, Oran Park 1907-1938

Having already purchased George Graham's farm in October 1904, Campbelltown grazier Essington Moore purchased both Oran Park and the Netherbyres property on the western side in July 1907.³⁴ In 1919 he leased the 1,140 acre-part of his land – part of portion 59 Parish of Narellan – to local graziers Charles, James and Andrew McIntosh for seven years.

2.3.7 Successive Developers 1938-1946

2.3.7.1 Harold Thomas Morgan, Oran Park, Netherbyres and Graham's Farm 1938

After Essington Moore died, the Sydney solicitor Harold Thomas Morgan applied for the titles to the three properties Oran Park, Netherbyres and Graham's Farm on 30 June 1938 and subsequently offered them for sale.³⁵



Figure 21: The consolidation effected by Joyce Robbins created an extensive 2200-acre property that comprised all of portion 60 and most of portion 59 of the Parish of Narellan. CT 5562-235

³² CT 897-126, Lands Department

³³ Carol Liston, op cit, pp 123, 166,

³⁴ CT 897-126, CT 905-116 and CT 1565-191, Lands Department

³⁵ Ibid

2.3.7.2 *Hubert Harry Robbins and Joyce Edith Robbins, Oran Park, Netherbyres and Graham's Farm 1939-1946*

Hubert Harry Robbins, described as a Sydney gentleman, purchased the three properties Oran Park, Netherbyres and Graham's Farm on 11 January 1939. On his death, towards the end of the war, all the land passed to his widow Joyce Edith Robbins with the new title being registered on 8 August 1945. On 18 March 1946, Joyce Edith Robbins consolidated the three properties creating a single title for the whole 2200 acres.³⁶

2.3.7.3 *World War 2 – Narellan Army Camp, Cobbitty and Northern Road Intersection*

At the time Hubert Harry Robbins acquired the property, about nine months before the start of World War 2, part of a military camp occupied a piece of land in the north-west corner. Known locally as Greene's Corner, 'Narellan Camp' was an extensive military facility established as a place for army units to form up before they were posted. Situated approximately 1.5 miles from Narellan, it clustered around four points of the intersection of Cobbitty and Northern Roads. The Harrington Park corner accommodated the guard room and camp hospital while the Orielton corner, held the engineers' depot, canteen and armoured vehicles that were concealed in the bush. On the Denbigh corner were 150 to 200 tents, most accommodating six men each, while the corner that is now part of Oran Park Raceway held the camp administration and the horse lines.³⁷ The Army used other neighbouring historic properties such as Studley Park and Brownlow Hill and the Camden district also accommodated RAAF training squadrons at the local Aerodrome.

At 45 miles south of Sydney by the Hume Highway (formerly the Great South Road), the Narellan campsite was ideal, because the district was sufficiently distant from the city for security purposes but close enough for regular contact. The Army removed the whole facility when the war ended leaving only areas of bitumen and concrete.³⁸



Figure 22: This aerial photograph shows the Narellan Army Camp at Green's Corner from the Northern Road side. *District Reporter*, 21 May 2004, p 21

³⁶ CT 5562-235, Lands Department

³⁷ *District Reporter* [Camden], 14 February 2003

³⁸ *Ibid*

2.3.8 Post-War Speculation 1946-1948

2.3.8.1 A Judicious Subdivision 1946

No sooner did Joyce Robbins complete the consolidation of Oran Park, Netherbyres and Graham's Farm, than she separated out the part that had contained Netherbyres – Portion 59 – and subdivided the part that had originally come from Harrington Park – Portion 60 creating two allotments of roughly 500 acres each. The Lands Department registered this subdivision on 1 May 1946 and the Nepean shire clerk certified it on 8 July 1946.³⁹



Figure 23: This plan shows the subdivision of the land in Portion 60 of Narellan Parish, which had previously carried Oran Park and Graham's farm. DP 54258, Lands Department

³⁹ DP 54258, Lands Department

2.3.8.2 Three Quick Transfers

Camden grazier and contractor Daniel James Cleary purchased Lot 2 of subdivision DP 54258 on 21 June 1945 and sold it on 18 January 1946 to Sydney merchant Arthur Raymond Booth and Robert Leslie Booth who shared it as tenants in common.⁴⁰ The Booths sold Lot 2 of subdivision DP 54258 to Camden farmer John Thomas Vivian Frost on 11 September 1947.⁴¹



Figure 24: This 1947 aerial photograph shows Oran Park House and its immediate grounds. Two access roads can be seen – one travelling diagonally into the property from the intersection of the Hume Highway and Cobbitty Road in the lower right and another fainter track travelling in a straight line from Cobbitty Road to the tree-lined circular drive in front of the house. *Lands Department*

In her 'Analysis of the History and Geography of the South Creek Catchment Area', planner and historian Helen Proudfoot stated that Robbins and Smith ran Oran Park as 'a golf club with racing and trotting courses' and that the 'house was considerably extended in the 1930s; the roof reconstructed, the side verandahs built in, and a west wing and the front portico added'. Unfortunately Proudfoot has not provided the source of this information.⁴² However, on the 1947 aerial there are signs of ground levelling and pasture improvement in a roughly rectangular shape extending from the land immediately behind the house to Cobbitty Road. Also an early form of

⁴⁰ CT 5562-235, Lands Department

⁴¹ CT 5594-170, CT 5594-171, CT 5781-37

⁴² Helen Proudfoot, 'Analysis of the History and Geography of the South Creek Catchment Area', March 1990, p 89

the motor racetrack can be seen on Portion 59 near the intersection of the Northern and Cobbitty Roads, possibly a development of the oval track that can be seen in the aerial of the Army Camp.

2.3.9 Enter the Developers 1960-1968

On 27 June 1960 Frost sold his 507-acre property to a company called Cobbitty Investments Pty Limited which supported the purchase with a mortgage supplied by Pacific Investments Pty Limited. In early September the company took out a second mortgage with Sales Assistance Pty Limited. The first mortgage was discharged on 29 November 1961 but the second mortgage on the property remained and its terms were not met so the mortgagor foreclosed.

Edward Alfred Star, a Rose Bay hotel proprietor and his wife Emily purchased the 507-acre property through the 'exercise of Power of Sale under Mortgage'. The couple were registered as joint tenants.

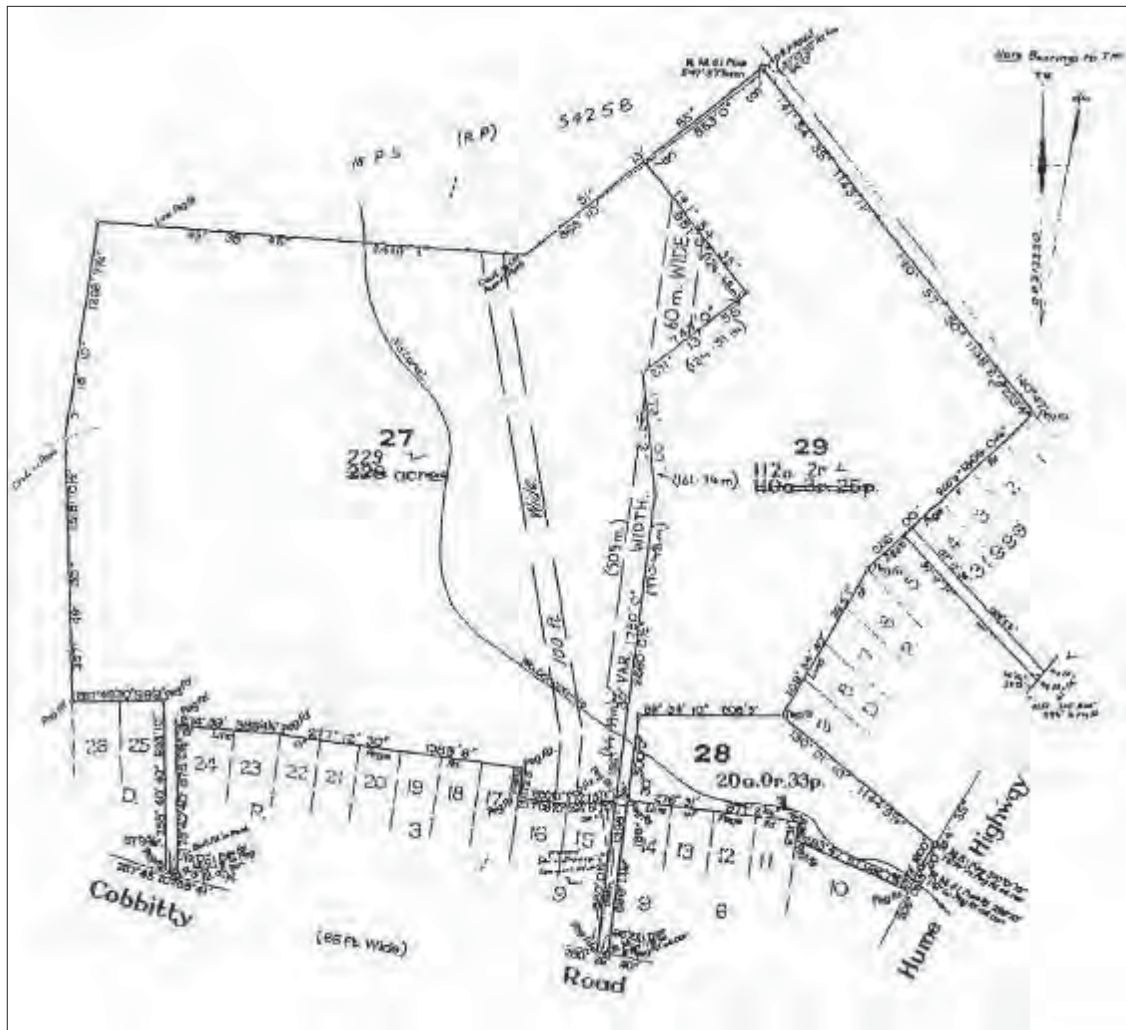


Figure 25: The plan on the left shows the changes made by the 1960s subdivisions DP 31996 and DP 213330. *Lands Department*

The Stars first subdivided the property by creating 26 hobby farm lots of about 5 acres each along the frontages of the land on the Hume Highway (formerly Cowpastures Road) and Cobbitty Road. This subdivision – DP 31996 – included a wide entrance on the Hume Highway and two narrow driveways from the Highway and Cobbitty Road. The Stars registered a subsequent subdivision

– DP 213330 – that divided the land behind the hobby farm allotments in three. Lot 27 containing the Oran Park homestead had 229 acres, Lot 28 had 20 acres and Lot 29 had 112 acres.⁴³

Edward and Emily Star retained Lot 29 for their own use but they sold the remainder of the property to Newport investor John Cole and his wife Peggy Donaldson Cole whose titles were issued on 1 April 1968.⁴⁴

2.3.10A Country Retreat 1969-2006

On 19 June 1969 the engineer and motor racing personality the Honourable Lionel John Charles Seymour Dawson-Damer purchased Lot 27 with the Oran Park homestead. He also bought Lots 24 to 26 adjacent to the driveway into Lot 27, two of which had been purchased on 21 February 1963 as a shared investment by joint tenants Edward Reddish Smith and wife Lillian; John Hyland and wife Dorothy May; Alexander Bryce Hull and wife Lenora Jean; and Edward Painton Smith and wife Lillian, farmers of Oran Park.⁴⁵

2.3.11 The Oran Park Raceway 1962-2006

The Oran Park motor racing track was situated on land that was originally in portion 59 of Cook Parish – the Netherbyres grant – but part of the drag strip on the eastern side of it was within portion 60, the grant known as Oran Park. Clearly, the whole area had taken on the name “Oran Park” by the time the racing track opened commercially in February 1962.

It is common knowledge that the Singer Car Club Australia Limited (later the NSW Road Racing Club) built the track and used the circuit initially for club races only. But there is no evidence to support the claim that it existed before 1962. Certainly, the 1961 aerial shows no sign of it and contemporary website material confirms that it was established about 50 years ago. The landowner, grazier and contractor Daniel Cleary, provided the equipment to construct the track for club members who did not aspire to race on the more important circuits at Warwick Farm and Bathurst. Initially, it was one mile long.⁴⁶



Figure 26: The dotted lines show the 1962 layout of Oran Park Racetrack within a later 1.21-mile version. This plan shows the corner names used in 1965. Terry Walker, *Fast Tracks*, p 120

⁴³ CT 9304-56, Lands Department

⁴⁴ Ibid

⁴⁵ CT 9100-40 and CT 9100-42, Lands Department

⁴⁶ *Australian Motor Sports*, May 1962, p 19; www.udrive.com.au/race-tracks_new-south-wales.aspx; Bill Boldiston, *A Guinea to Join: Early days of the Vintage Sports Car Club of Australia, and Motor Sports in NSW*, Bol d'Or Motoring Promotions, Sydney 2004; Terry Walker, *Fast Tracks: Australia's motor racing circuits, 1904-1995*, Turton and Armstrong, Sydney, c. 1995, p 118; John J. Coe, *In the Left-Hand Seat: A Sporting Biography of The Hon. John Dawson-Damer*, Turton & Armstrong, Sydney, 2002, p 47



Figure 27: This early sedan race at Oran Park featured six Morris 850s. *Australian Motor Sports*, November 1962.

The magazine *Australian Motor Sports* provided an account of the first race meeting at Oran Park in its April 1962 issue:

The Oran Park meeting was quite successful; in spite of an opening ceremony and time out between races for gravel sweeping, the Singer Club ran off 17 races during the afternoon. The gravel problem should be solved to a great extent, as a resurfacing plan will now go into operation almost immediately. The new surface will be similar to Bathurst's Con Rod Straight and is known as Sealcote.⁴⁷

This meeting was for club members only and the opening ceremony indicates that it was the first to be held on the Oran Park track. This supposition is confirmed by the *Australian Motor Sports* report in May, 'New South Wales' newest circuit, Oran Park, is now open for business but the Singer Car Club is holding several closed meetings to iron out all the organising problems.'⁴⁸

The races fielded both sports cars and sedans and the course was praised, both for its setting and amenities. One meeting in July attracted 135 entries and 7,000 spectators.⁴⁹

Situated in a picturesque rural setting between Narellan and Cobbitty, about 1 mile off the Hume Highway [formerly Cowpastures Road], the circuit is designed so that the spectator area gives an uninterrupted view of the entire track. It is fully sealed and features first class amenities including a large modern brick toilet block.⁵⁰

Reports published in August explained that an unusually long, twenty-year lease covered the track and that it was developing rapidly. To encourage entries, the club held a twelve-lap feature race at every meeting with a 100-guinea [£105] prize. The first 'top line driver' to race at Oran Park was Frank Match, who 'lowered the track record with his Lotus Nineteen and also won the Feature Race'.⁵¹



Figure 28: The close-up of the leaders in a sports car race in July 1962 shows Barry Collerson leading in a Cooper Minx. *Australian Motor Sports*, August 1962.

The excavations to create the track continued to reshape the landscape for years adding artificial slopes to improve the spectators' vantage points as well as levelling some of the more dramatic

⁴⁷ *Australian Motor Sports*, April 1962, p 11

⁴⁸ *Ibid*, May 1962, p 19

⁴⁹ *Ibid*, August 1962, p 39

⁵⁰ *Ibid*, May 1962, p 19

⁵¹ *Ibid*, November 1962, p 30

dips in the track itself. Later additions increased the track, first to 1.21 miles, and subsequently made it 1.63 miles long by adding loops and a flyover. These changes allowed the Oran Park Raceway to host the Australian Grand Prix in 1974 and 1977 after the Warwick Farm track closed in 1973. During that period, Oran Park also held the New South Wales rounds of the Tasman and Australian Touring and Sports Car Championships.

2.3.12 Seeking to Capitalise on Leisure 1970s and 1980s

2.3.12.1 State Planning Changes

In 1968 the Sydney Region Outline Plan devised the merging of the three cities of Camden, Campbelltown and Appin to make a living space for 500,000 people. In preparation the State Planning Authority commenced acquiring land in the region the year before it released the plan. It released a more detailed projection, the Campbelltown-Camden-Appin Structure Plan in 1973.

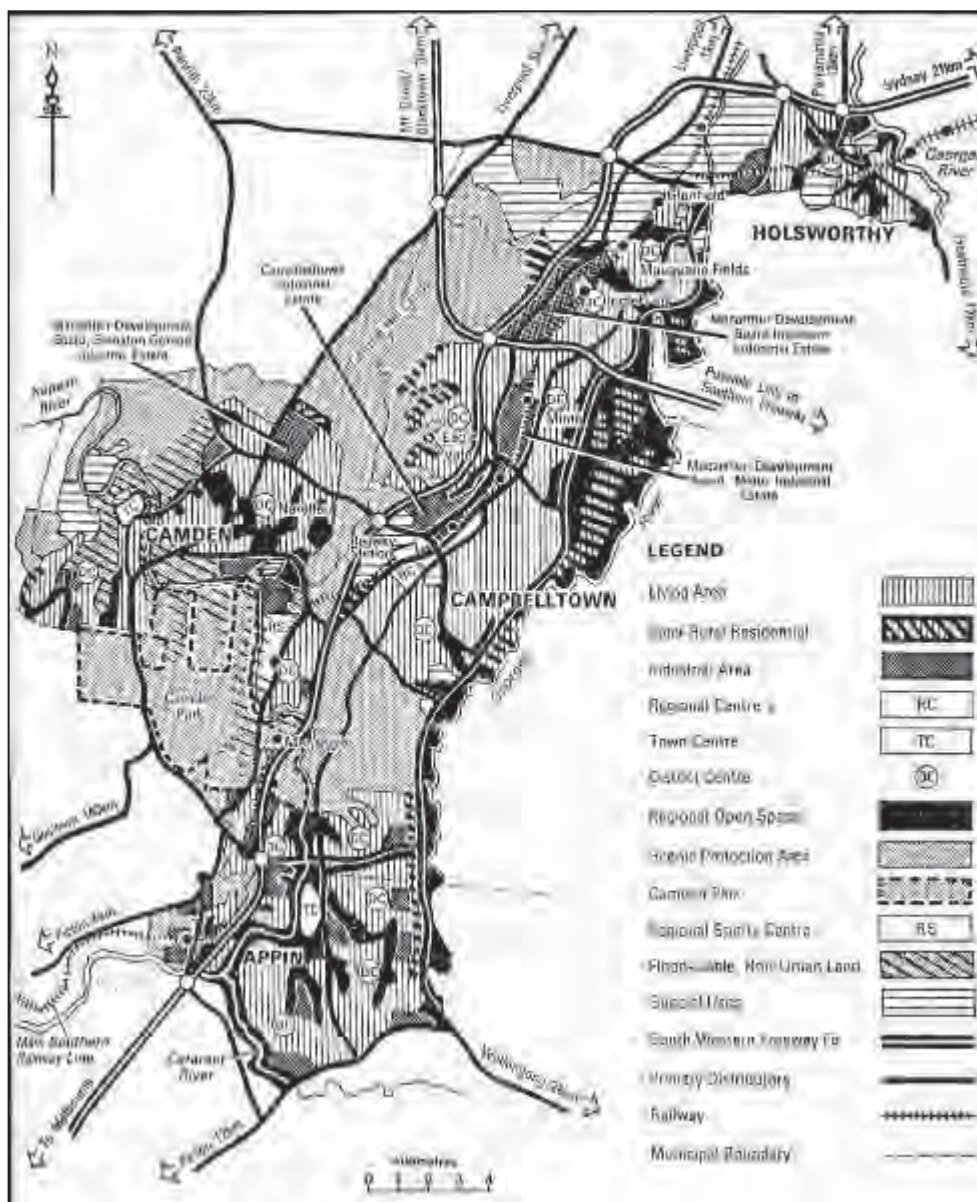


Figure 29: The Campbelltown/Camden/ Appin Structure Plan released in 1973.

The 1973 plan turned Narellan into a district centre. Part of the surrounding land was zoned as town centre and living area and part was classed as regional open space while some was to be

protected for its scenic value.⁵² Already being rebuilt as an expressway, the Hume Highway had passed by Narellan and Camden and the old route was renamed the Camden Valley Way. Soon afterwards, in June 1981, Sir Warwick and Lady Fairfax had formed their own development company and Camden Council accepted its proposal for an 800-hectare estate of executive homes on part of the land in Harrington Park.

2.3.12.2 A Theme Park Proposal 1977

In 1977 the Cleary Brothers, who owned the Oran Park Raceway at that time, examined the possibility of increasing the recreational use of their 1,608 acres by developing a theme entertainment park, mainly on the land in portion 59. The aerial photograph used in the proposal showed houses on a number of the hobby farm allotments but most of the land in the vicinity was still used for agriculture and grazing. The photo shows that a significant proportion of the Oran Park land was lightly timbered while the remainder seemed to be pasture with some crops on Star's property. The neighbour to the north of the Netherbyres property was the Pondicherry Cattle Stud while across the Northern Road were Maryland Farm to the north and the McIntosh Bros Dairy; Harrington Park was used for grazing and Orierton accommodated dairy herds. The theme park application was made after completion of major resumptions for roads and electricity transmission lines in 1976. Apparently, it was not successful, probably because the land was still zoned as rural.⁵³



Figure 30: This plan showed the level of additional development proposed for the Oran Park Raceway in 1985. *Oran Park Environmental Study 1985*

⁵² Peter Spearritt & Christine DeMarco, *Planning Sydney's Future*, Allen & Unwin, Sydney, 1988, pp 65-73

⁵³ Edwards Madigan Torzillo & Briggs International Pty Ltd, 'Oran Park Sports and Recreation Centre: planning and environmental study, 1977; DP 252897, Lands Department

2.3.12.3 A Larger Raceway 1985

The Leppington Pastoral Company, which purchased the Oran Park Raceway and surrounding land in 1983 (registered 1985), continued to support and develop the track and facilities.⁵⁴ The new owners requested for zoning changes in 1985 pointing out that the existing zoning did not permit motor racing and they needed changes to the Local Environment Plan in order to upgrade their facilities. The impact study supporting the request described the track in 1985:

The current facilities are a motor racing circuit and associated pits, marshalling and fuelling area, an office and observation building, three stands which can accommodate approximately 4,000 people and generally unformed parking areas for about 20,000 cars. The largest crowd that has patronised an event is 28,000 but a more normal large crowd is 15,000 people.⁵⁵

At that time the main activities at the track were car and motorbike races and the owners wanted to introduce international standard Formula 1 and drag car racing, create a small speedway within the existing track; introduce a go-kart track on the Formula 1 raceway extension; create a motorkhana area for 250 cars and lay down motorcross and supercross tracks in the hilly area near Oran Park Drive (formerly Cobbitty Road). These new facilities would require additional spectator stands and an enlarged parking area for up to 34,000 cars.

Camden Council was amenable to the proposal that they alter the LEP but only some of these enhancements were executed immediately. By 1988 Oran Park had gained a control tower, new grandstands, canteens, toilets and a Go-Kart track.⁵⁶ The Oran Park circuit retained its importance until the opening of the Eastern Creek circuit at Mount Druitt on 10 November 1990.



Figure 31: This diagram shows the facilities at Oran Park raceway in 1988. *Historic '88: Oran Park Sydney*

By 2006 the raceway had acquired more facilities. The Grand Prix circuit with its figure-8 layout could be split up and used concurrently as the South Circuit that had a long straight and the shorter North Circuit that utilised the figure-8. In addition it had 'a Skid Pan for driver training, two dirt circuits for off-road events, a motor cross track, and a popular go-kart circuit'.⁵⁷ However, continuing suburban growth in the south-west region was responsible for the racetrack's closure in late 2008.⁵⁸

⁵⁴ Terry Walker, op cit, pp 118-19; *Sun-Herald*, 20 August 2006, p 110; Oran Park Table 2

⁵⁵ Michael McCotter & Associates Pty Ltd, op cit, p 12

⁵⁶ *Historic '88: Oran Park Sydney*, program published by the Historical Sports and Racing Car Association, 1988

⁵⁷ Oran Park website, www.oranpark.com

⁵⁸ *Sun-Herald*, 20 August 2006, p 110



N↑

Figure 32: The aerial photograph dated 20 December 2005 shows the facilities at the Oran Park Raceway before its closure in 2008. *Lands Department*



Figure 33: c2013 aerial showing the location of the former Oran Park Raceway in relation to Oran Park House.
Source: Sixmaps.

2.3.12.4 John and Ashley Dawson-Damer

On 19 June 1969, the engineer and motor racing personality, the Honourable Lionel John Charles Seymour Dawson-Damer – known as John Dawson-Damer – purchased Lot 27 with the Oran Park homestead. He also bought Lots 24 to 26 adjacent to the driveway into Lot 27, two of which had been purchased on 21 February 1963 as a shared investment by joint tenants Edward Reddish Smith and wife Lilian; John Hyland and wife Dorothy May; Alexander Bryce Hull and wife Lenora Jean; and Edward Painton Smith and wife Lillian, farmers of Oran Park.⁵⁹

The younger son of a family of Anglo-Irish peers, John Dawson-Damer migrated to Australia in 1964; he was 24 years old. He worked as an engineer in the family business but motor racing was his passion and 'he excelled as sportsman, sports administrator and collector'. He was an active participant in motor racing from 1968, establishing his own 'internationally renowned collection of vintage Lotus racing cars' in 1971 and winning the Australian Championship Rally Navigator title in 1978. He chaired the Confederation of Australian Motor Sport's Historic Commission and represented this country on the Federation Internationale de l'Automobile Historic Cars Commission.⁶⁰

John Dawson-Damer regarded the Oran Park property as a sanctuary where he could shed his public persona. He named it The Farm. When he bought the 260-acre property with Oran Park house, it was surrounded by the manicured greens of a country club golf course in which the

⁵⁹ CT 9100-40 and CT 9100-42, Lands Department

⁶⁰ John J. Coe, *op cit*, p ix

homestead was the clubhouse. According to his wife Ashley, 'it was a failed and decaying' enterprise where all the historic brickwork and joinery had been covered in white paint.⁶¹ One of his first actions was to restore the pasture to waist-high grass that could be baled. Subsequently he and Ashley gradually restored the house and grounds. Dawson-Damer used the downstairs kitchen for his workshop and built a capacious shed for his cars. In 1992 *Belle* magazine featured Oran Park House.



Figure 34: This undated photograph shows members of Club Lotus Australia with their cars at a concours d'elegance in front of the Oran Park homestead. *John J. Coe, In the Left-Hand Seat, p 42*

Although Oran Park was a sanctuary for Dawson-Damer, he held numerous parties there and, after he became a member of Club Lotus Australia in 1973, he regularly held club outings at Oran Park. These usually involved a *concours d'elegance* and what Dawson-Damer called a 'bucket bash' where club members drove furiously round buckets that he placed strategically in the paddock. This event was followed by a tour of his shed, inspection of his collection of vintage cars and a barbecue on the terrace near the 1840s coach house.



Figure 35: This 1978 photograph shows John Dawson-Damer leading a race at Oran Park in his Lotus 16 Climax Grand Prix car. Close behind him is John Medley in a 1959 Formula Junior Nota. *Vintage and Historic Motor Racing in Australia*

John Dawson-Damer fell in love with motor racing at the age of 12 when he attended his first race meeting at Goodwood on the Duke of Richmond's estate near Chichester. The track was closed from 1966 until 1993 when the Duke's grandson, the Earl of March, reopened it for the Goodwood Festival of Speed, a race meeting that soon became the world's premier classic car event. Competing at this meeting in his 1969 Lotus 63 F1, on 24 June 2000 John Dawson-Damer died instantly when his speeding car left the track and hit a gantry. One of the two marshals injured in the same accident also died. As British motoring writer Angus MacKenzie observed:

⁶¹ *Belle Design and Decoration*, June-July 1992, p 46

Dawson-Damer knew the risks. He also understood the frailties of old racing cars, having driven classic Lotus open wheelers for almost 30 years...historic racing walks a fine line between recreating motor sport's glory days and reliving its dark past.⁶²

John Dawson-Damer is survived by his wife Ashley, his son Piers and daughter Adelia. Ashley continued to live in the house until 2006.



Figure 36: John Dawson-Damer on the front verandah of 'The Farm' with his dogs Rhody and Lockie 2. *John J. Coe, In the Left-Hand Seat, p 117*

2.3.13 Oran Park 2006 – Present

The Dawson-Damer family sold the property to Valad Properties for residential subdivision. In 2012 Valad on sold the property to the Fairfax family company Hixson Pty Ltd.

The Department of Planning and Infrastructure have released an Indicative Layout Plan for subdivision development and in December 2013 the new SEPP was gazetted for this South Catherine Field Precinct.

On 5th March 2015 the State Heritage Register Listing Number 01695 was gazetted. This established the curtilage of approximately 14 hectares and included the House lot, part of the south-east driveway, the Coach House, the Silo and a pasture paddock linking to South Creek and residential development adjacent to the House Lot. Refer to Figures 8 and 12.

2017 addendum: Over the past 12 months plus, the approved residential subdivision of the Oran Park Estate, including that within the SHR heritage curtilage zone, has begun with some new roadways already constructed. Refer to Figures 5, 12 and 33.

⁶² Ibid, p xiii

2.3.14 Select Bibliography

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2.4 Historical Themes

The following State themes have been addressed in the history, with local or sub-themes being established:

| | State Themes | Local or Sub-themes |
|-------------------------|---------------------|---|
| Primary Themes | Aboriginal Contact | The Cowpastures Frontier |
| | Land Tenure | Crown Grants 1810s Subdivision patterns Ownership patterns Toponymy |
| | Housing | Early colonial settlers cottages Victorian gentlemen's country houses Turn-of-the-century grazier's homesteads Twentieth-century country houses Rural worker's housing on country estates |
| | Cultural sites | Oran Park Raceway |
| | Environment | The estate as a cultural landscape Development of the gardens Development of the outbuildings 'streetscape' |
| | Persons | Dynasties: Campbell 1827-1840s Johnson 1840-1860 Barker 1869- Moore/Inglis 1871-1938 Robbins 1939-1946 Dawson-Damer 1969-2006 |
| Secondary Themes | Pastoralism | Cattle raising Pastoral emigration 1860s |
| | Convicts | Convict labour and the pastoral industry Convict discipline and escapes Convicts and the building trades |
| | Commerce | The estate within dynastic businesses |
| | Agriculture | Agriculture in the Camden district |
| | Utilities | Public Roads in the colonial period Public Roads 1950s-1970s Water and sewerage services 1950s Electricity transmission 1960s-1970s |
| | Defence | Narellan Army Camp WWII |
| | Government | Settlement planning 1810s- 1830s Planning for urban expansion 1960s+ |

3.0 PHYSICAL EVIDENCE

The physical evidence of the subject site was investigated through non-intrusive observation of the place's fabric during a number of site visits throughout the course of this study. Unless otherwise stated, all images are by the authors of this report.

3.1 Environmental

3.1.1 Geology and Climate ⁶³

In geological terms, the study area is located within the central part of the Permo-Triassic Sydney Basin. The geology of the area is dominated by Wiannamatta Group Shales associated with the Hawkesbury, Minchinbury and Razorback Sandstone formations. Landscape characteristics, particularly topography, vegetation, and prevailing hydrology and climate have a significant bearing upon the nature of an area's Aboriginal archaeology, i.e. landform archaeological sensitivity and potential and European landuse patterns.

The landscape is best characterised as comprising part of the vast Cumberland Plain, with elements of three distinct soil landscapes and associated landform units present (Hazelton & Tille 1990a,b):

- Blacktown and Park soil landscapes
- Luddenham and Picton Soil Landscapes.
- South Creek Riparian Zone

The Oran Park Estate is slightly more elevated Blacktown Soil Landscape

- broad rounded crests and ridges;
- gently inclined slopes to 10%, with relief to 20m; and
- associated ephemeral drainage lines.

The eastern area of the former estate's landholdings includes,

- alluvial flood plains
- gentle slopes and low hills
- South Creek Soils
- South Creek, a permanent waterway.

These slopes and plains are currently to be developed for housing, shopping centre, recreation and open space.

3.1.2 Soils

Oran Park Estate contains a range of soil types including:

1. South-West: brown podzolic soils and earthy clays on the crests and red and yellow podzolics and prairie soils on the upper and lower slopes;
2. Central-South West: Red podzolics on upper slopes; brown-yellow podzolics and soloths on lower slopes and benches with red-brown earths, colluvial material, yellow podzolics and soloths along lower slopes and drainage areas;
3. North-West: Red earths and red podzolic soils occur on terrace formations. Solodic soils are dominant in drainage lines
4. Central, South-East, North, North-East: Red earths and red podsolic soils occur on terrace formations. Solodic soils are dominant in drainage lines; and
5. Eastern, Northern Boundaries: Yellow podzolic soils and soloths on the lower slopes and drainage depressions as well as in areas of poor drainage.

⁶³ The information contained in Section 3.1.1 – 3.1.7 has been adapted from Clive Lucas Stapleton & Partners Pty Ltd, *Harrington Park Stage 2 and Mater Dei Heritage and Landscape Study*, 2004, pp.12, 14-15, 17-18. All other sections contained in 3.0 are prepared by Tropman & Tropman Architects unless otherwise cited.

Isolated areas of mainly sheet erosion occur along some creek banks and minor spur line crests. It appears that the erosion had been initiated or accelerated by the effects of recent dry conditions, ploughing, commercial crop cultivation and cattle grazing.

Oran Park Estate is drained by a series of clearly defined and in most cases incised west and south draining ephemeral drainage lines, forming part of the upper catchment of South Creek.

Naturally occurring rock outcrops, comprising loose floater stone material occur along elevated crests and steep upper hill slopes to the north-west of the Homestead.

3.1.3 Hydrology

Oran Park Estate surface hydrology is influenced greatly by the presence of the south east-west running main ridge crest which roughly forms the Estate's southern boundary. The ridge is drained to the north and east by a series of ephemeral drainage lines associated with gently sloping side slopes. Drainage occurs to the north and east forming the west and east catchment of South Creek.

3.1.4 Vegetation

Oran Park Estate is comprised of mainly extensive cleared and regrowth eucalyptus areas, although landscape modification has been far greater as a result of past and continuing agricultural practices. This is particularly evident where commercial crop cultivation and general soil tillage practices continue over a large area. The Estate contains areas of dense timber eucalyptus regrowth and scattered mature trees, predominantly occurring along drainage lines.

Regrowth areas, isolated clumps and scattered individual mature old-growth trees occur across the former estate dominated by Grey Gum (*Eucalyptus punctata*), Forest Red Gum (*Eucalyptus tereticornis*) and Rough Barked Apple (*Angophora subvelutina*). The Estate's east is dominated by mature Eucalyptus and She-oak (*Casuarina sp.*). Understorey species are considerably modified mainly as a consequence of the introduction of exotic plant species although there are extensive areas of a range of native grasses and Australian Blackthorne (*Bursaria spinosa*).

3.1.5 Landuse

Whilst the eastern section of the Estate contains extensive areas of remnant native vegetation, most of the remaining timber appears to be eucalyptus regrowth. There remain isolated small stands and isolated individual mature eucalyptus trees to the north-east section of the Estate and along the northern drainage and alluvial areas.

Oran Park Estate has been subjected to a range of landscape modifying processes. These include the clearing of large areas of old-growth native timber, ploughing and extensive commercial crop cultivation and domestic stock grazing. As a consequence Oran Park Estate is currently subjected to a range of impacts associated with its use as a grazing and cropping property.

3.1.6 Fauna

The original environment would have included eastern grey kangaroo (*Macropus giganteus*), a number of wallaby species (*Macropus spp.*), ringtail and brush tail possums (*Pseudocheirus peregrinus* and *Trichosurus vulpecula*), as well as a large number of other animal species including terrestrial marsupials, birds, echidnas, rats, emus, possibly koalas and a range of reptile species, amphibians, molluscs, fish and invertebrates.

It is possible that many marsupials, birds, reptiles, amphibians, molluscs, fish and invertebrates still inhabit the extensive Estate ecosystems. Feral animals include foxes, rabbits and hares. It is noted that the Cumberland land snail is found at Spring Farm and Mount Annan. Bird species are extensive.

3.1.7 Geomorphology

Geotechnical information generally relating to the current study area is outlined by the Wollongong-Port Hacking 1:1000 000 Sheet (Hazelton & Tille 1990a). This reference suggests that survey area soils are stable to moderately erosion prone. This variability relates to a number of factors including soil structure and gradient.

Blacktown soil formations tend to be generally stable, occurring on mostly flat to gently undulating country. As such they were often the first areas to have been farmed during early European settlement in the area.

From an Aboriginal archaeological perspective, locations containing Blacktown soil formations within the study area are assessed to be unlikely to contain Pleistocene archaeological deposits due to their generally elevated location above the Nepean River floodplain and their erosion/deposition formation process. This would have resulted, tens of thousands of years ago, in large quantities of 'original' topsoil deposits being washed down into the Nepean River valley below.

Theresa Park soil formations generally have a relatively high potential for archaeological Pleistocene deposits to occur, mainly as sub-surface deposits, due to their generally alluvial deposition process. However, given the mainly terraced and undulating low hillslope nature of most of the Theresa Park soil formations and their close proximity to more elevated footslopes within the study area, Theresa Park soil formations are assessed to have only limited potential to contain sub-surface Pleistocene deposits.

Luddenham soil formations within the study area have a similar agricultural history to adjoining areas of Blacktown soil formation. They are generally comprised of eroded ridge and hill crest formations and as such have been subjected to very high levels of surface erosion during their formation processes, elevated high above the Nepean River valley. As such the likelihood of these soil formations containing exposed or sub-surface Aboriginal archaeological Pleistocene deposits is low.

The *Picton soil formations* are the steepest and most severely eroded. As such there remains little likelihood of this particular soil landscape containing exposed or sub-surface Aboriginal archaeological Pleistocene deposits.

3.1.8 Cultural and Natural Landscape

Oran Park Estate is part of a distinct landscape character. The Valley is shallow, formed by the river flats around South Creek. It is generally the South Creek catchment. The enclosing rim of moderately high hills and rolling low hills are used and occupied by open pasture, remnant and regenerating Cumberland Plain woodland, alluvial woodland and riparian – River Oak Forest, and Urban development on the Southern and Northern Edge is proceeding on selected areas around the Homestead Lot.

The topography of Oran Park includes in detail:

1. Gently undulating minimal simple slopes (associated with alluvial colluvial terraces, slopes to 5°)
2. Alluvial and colluvial terraces (associated with South Creek floodplain)
3. Broad rounded crests and ridges
4. Gently inclined slopes (to 10% slope, relief to 20m) (associated with broad ridges and crests)
5. Ephemeral drainage lines (associated with all landforms)
6. Creek line. Creek flowing north through alluvial floodplain.

3.1.9 Climate

The Camden area is characterised by warm to hot summers and cool to mild winters. Rainfall is highest in the periods from January to April and October to November, with relatively dry winter months.⁶⁴ The average annual rainfall is 828mm which yields an average of 109 raindays in a year.⁶⁵

Camden is drier than the coastal areas of Sydney, experiences increased occurrences of frosts in the cooler months, and has a slightly greater seasonal temperature range than Sydney (Camden Council, 1998).⁶⁶ Camden experiences a mean maximum daily temperature of 29.2 degrees Celsius (°C) and a mean minimum daily temperature of 2.9°C during July.⁶⁷

3.1.10 Flooding

Flooding occurs when the South Creek drainage system cannot cope with the amount of rainwater falling on the catchment above this area.

3.1.11 Estate Landscape

The topography of the place has determined the land use and opportunity for development firstly for primary production – cropping, grazing, forestry wood collecting, pasture development, dairy farming, hobby farming and then in part recreation/sport (car racing) and now residential development.

The creek and drainage lines have been utilised for water storage by building dams since early settlement.

Further earth dams were added to the site over time with extensively expanded old dams and new earth dams built (1980-2000) across other ephemeral drainage lines leading to South Creek. These water storage structures provided extensive water storage for the local fauna and flora and the agricultural pursuits of the occupants.

The alluvial floodplain, slopes, low hills and broad rounded crests and ridges have been extensively developed with pasture for stud and dairy farming. Mature eucalypts as individuals and in clumps are scattered across the various landforms and along fence lines. Extensive areas of regrowth/regenerating forest are associated with drainage lines.

There is some regrowth of the native Blackthorn and native grass regrowth as pasture for cattle to feed on around drainage lines.

Oran Park's topography is a gently undulating landscape. The South Creek line remains a visually important feature in the landscape setting of Oran Park Estate.

On small sections of land where agriculture has not been practised, the native vegetation and fauna have been generally maintained. The riparian zones associated alluvial woodland and Cumberland Plain Woodlands provide habitat and refuge.

These maintained and regenerating habitats provide aesthetic values to the setting of extensively developed pasture areas and now urban development.

⁶⁴ Pittendrigh Shinkfield Bruce, *Camden Riparian Areas Plan of Management*, 2002, pg.14.

⁶⁵ Camden Council, *State of the Environment Comprehensive Report 2003-2004*, pg.30.

⁶⁶ Pittendrigh Shinkfield Bruce, op cit, pg.14.

⁶⁷ Camden Council, op cit, pg.30.

3.2 Subject Site Setting

The subject site is situated on the northern side of Oran Park Drive and is, at present, surrounded by residential subdivision development in a new urban setting. The southern side of Oran Park Drive opposite the subject site has recently been residentially subdivided and developed into the suburb of Harrington Grove.

The north-western areas beyond the site are being developed as Oran Park Town.

Some sporadic views to Oran Park House are available from certain vantage points around the area. Glimpses of the house are available along Camden Valley Way. The house is a visibly dominant feature in the landscape when viewed from certain areas in Oran Park Township.

The following images demonstrate these glimpses to the house and demonstrate the extent of the changing landscape into a residential subdivision area. Visual linkages to other nearby estates do not exist. Past physical linkages to neighbouring estates – e.g. driveways and tracks to Harrington Park – have long since been removed. The former “gun barrel” straight drive from the House to Oran Park Drive – a drive that has been instated, removed and reinstated in the past – is also no longer a vehicular access drive but has been retained in the approved new residential subdivision as “Robbins Lane” interpreting and maintaining a visual link from the House to Oran Park Drive.

Topographically the site is an alluvial plain draining to South Creek. The alluvial plain is surrounded by soft form ridges except for the spur ridge running from the west towards the east upon which the main house was constructed. This gave the occupants of the house a broad commanding outlook from the upper levels, especially when the place had a belvedere above the main roof. The Coach House had a much less expansive view.



Figure 37: 2017 aerial of the subject site and surrounding residential subdivision development. Source: Oculus Public Domain Strategy March 2017 pg.3. Not to scale.



Figure 38: View south-east to the rear of Oran Park House from Oran Park Township (Central Avenue). The location of the house is indicated by the arrow. TTA 2013



Figure 39: Zoomed in view of the above image. The location of the house is indicated by the arrow. TTA 2013



Figure 40: View south to the rear of Oran Park House from Oran Park Township (South Circuit). The location of the house is indicated by the arrow. TTA 2013



Figure 41: Zoomed in view of the above image. The location of the house is indicated by the arrow. The Machinery Sheds (c1980) can be seen in the foreground. TTA 2013



Figure 42: View south to the rear of Oran Park House from Oran Park Township showing the spread of residential subdivision development. The location of the house is indicated by the arrow. TTA 2017



Figure 43: Zoomed in view of the above image. The Machinery Sheds (c1980) can be seen in the foreground. TTA 2017

3.3 Subject Site

3.3.1 Components

The subject site is located on Oran Park Drive, Oran Park NSW (formerly 931 Cobbitty Road, Oran Park). The subject SHR site covers an area of 14 hectares and is irregular in shape. It is comprised of part Lot 27 of DP 213330. It is situated on the northern side of Oran Park Drive and is roughly centrally located between Camden Valley Way to the east and The Northern Road to the west.

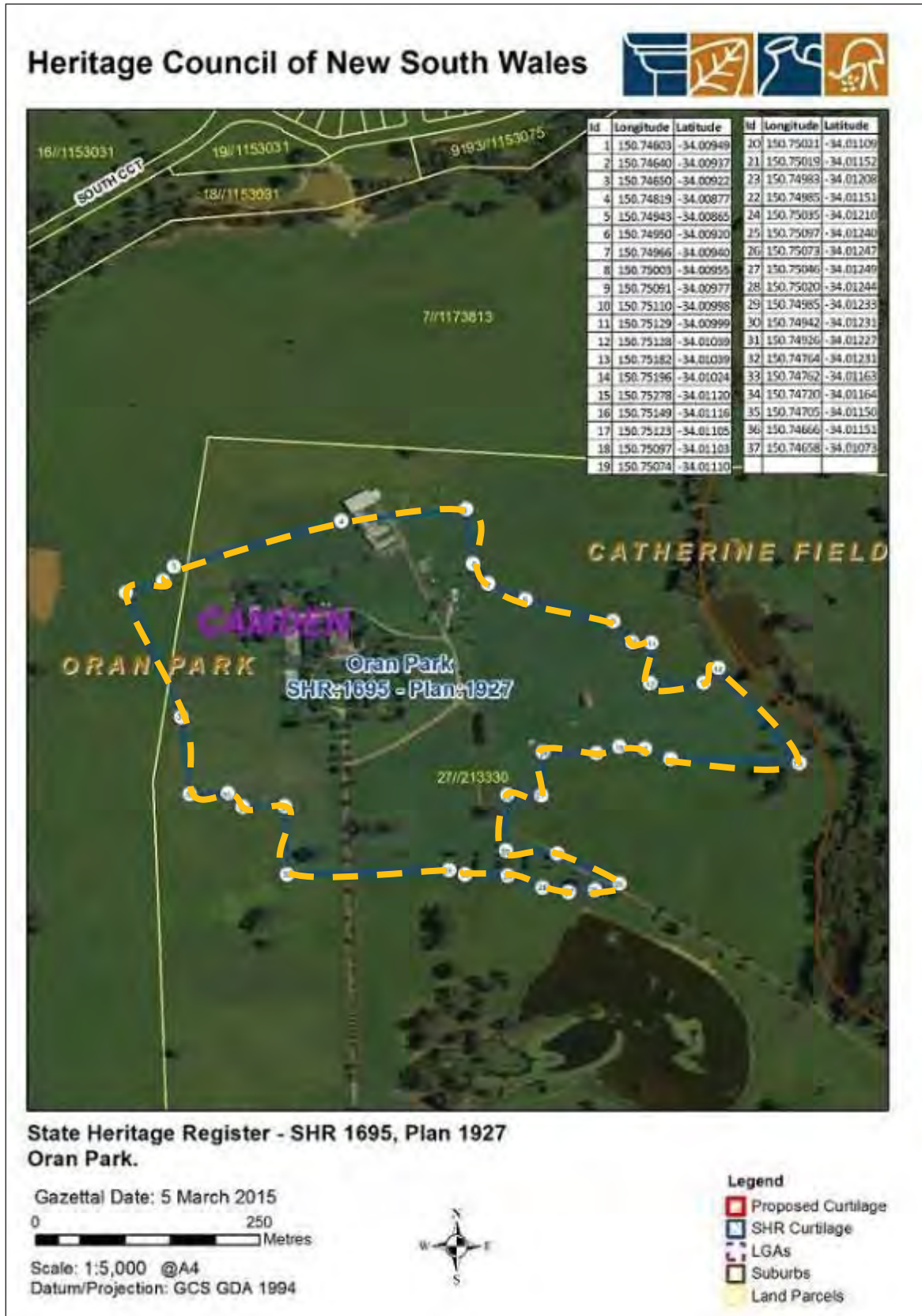
Oran Park (also known as “The Farm” by the Dawson-Damer family) is listed as an item of State heritage significance (SHR Listing number 01695, gazetted 5 March 2015). The subject site contains Oran Park House, a two-storey c.1865 Victoria Villa Georgian Revival style homestead adapted c1940 with a rear basement level and a two-storey rear wing. The Oran Park Estate contains the following structures and features:

- South Creek, lagoons and dams
- Paddocks and fencing for agrarian cropping, grazing and livestock management
- Oran Park House (c1865, c1930, c1940, c1990)
- Garden (c1865, c1930, c1940, c1990)
- Coach House (c1837, c1865-c1930, c1940, c1995)
- Garden Equipment Store (c1990)
- Productive Garden (c1940, c1990)
- Caretaker's House (early twentieth century – relocated to Oran Park in 1940s)
- Tennis Court (c1900)
- Swimming Pool (c1975)
- Silo (c1920)
- Two Elevated Water Tanks and Tank Stands (c1980)
- Formal Carriage Loop (c1870, c1940)
- Remnants of Eastern driveway from Cnr. Camden Valley Way and Oran Park Drive dates from at least c.1865 was used by Moores to link with Badgally House built c.1875 and was planted with Street trees c.1945 and upgraded and used until c.1995.

Refer to Figures 44 and 45 overpage for the Subject Site area.



Figure 44: SHR curtilage overlaid onto a c2013 aerial photograph showing extent of the subject site. Source: Oculus Public Domain Strategy March 2017 pg.4. N↑. Not to scale.



N ↑

Figure 45: Aerial photograph showing Oran Park SHR Curtilage marked in an orange dashed line, this is the area in which the State Heritage Registered Oran Park is located.

3.3.2 Past Functional relationship within the Estate

Oran Park Estate had a functional relationship to its surrounding rural landscape. The Estate's water security was always an important factor. The Residence and Coach House buildings were purposely built and sited to be close to South Creek, the Estate's main water source. Livestock and productive gardens would have been close to the water supply. Historical photographs and aerials show that the estate operated as a farming estate with cropping and livestock management of functional spaces/paddocks and buildings. Despite minor changes to garden settings and access ways, the estate had 6 areas of operation:

- The main house and front presentation garden - current
- Workers buildings and farm sheds
- Picking gardens/orchards - current
- Cultivated areas for cropping using the good soils
- Grazing pastures
- Links to South Creek - current

Within the estate there are important functional relationships between:

- the main house pleasure gardens, paddock landscape and entry;
- the picking garden;
- worker's buildings and the homestead;
- working areas and access roads (Oran Park Drive, Camden Valley Way);
- stables and grazing pastures – farmland

These have been in part retained and the arrangement is still capable of being interpreted with the proposed NSW Heritage Council curtilage as advertised in August 2014 and Gazetted in March 2015.

3.3.3 Entry and Arrival

The original entry to the house from the corner of Cobbitty Road and Camden Valley Way is no longer extant due to the subdivision of land in the 1960s and current development. The current entry to the house is via a functional drive/laneway that relates to the road design of the new subdivision off Oran Park Drive. It leads up to the carriage loop in front of the house. This was a later (c1970) straight “gun-barrel” drive that led from the house carriage loop directly to Oran Park Drive that has now been absorbed into the approved residential subdivision development, still retaining a visual “avenue” from the house to Oran Park Drive. Before arriving at the carriage loop, a farm management worker’s road diverts off towards the Coach House and around behind the House to the silo, shedding, water tanks, caretaker’s cottage and garden shed. Inside of the formal carriage loop is a rose garden and pond with mature trees, generally Chinese Elms, planted around the carriage loop. A mature Tecoma hedge separates the tennis court from the House. There are no plantings on the site predating the 1940s.

Historically, the drive from Cobbitty Road probably led to the first house, now known as the Coach House when it was 2-storey accommodation with outbuildings and stables. A 1947 aerial photo (Figure 108) shows a remnant line of trees and evidence of tracks that appear to lead to the Coach House building complex. It is also noted that the 1852 the sketch of Harrington Park shows only one road leading from the house to Cobbitty Road and this road links with Graham’s Farm well east of the Oran Park entry. The abovementioned remnant line of trees would probably be expressing the fence line of a former paddock against which a drive may have existed.

In the 1947 (Figure 108) aerial photo, the straight drive was little more than a track leading down to Cobbitty Road and appearing to meet up with a track to Harrington Park homestead. It appears not to have been used for some time in the 1947 aerial of the property (refer Figure 108). During the golf club use of the property in the 1960s, the straight driveway was removed altogether and grassed over. It was reinstated in c1970 by John Dawson-Damer, presumably as a “short cut” to reach Oran Park Raceway which opened commercially in 1962. The majority of the straight drive has been removed again during the commencement of the approved residential subdivision works.



Figure 46: Standing on the house driveway looking south towards the new residential subdivision development looking south along Robbins Lane to Oran Park Drive. TTA Nov 2017



Figure 47: Standing in the new Robbins Lane, looking north towards Oran Park House. TTA Nov 2017



Figure 48: Zoomed in to the view of the Oran Park House formal entry. TTA Oct 2017



Figure 49: View to the house from nearby the junction of the straight driveway and service road leading to the rear of the property. TTA 2013



Figure 50: View from the house looking towards the formal garden and pond. TTA 2013



Figure 51: Formal front garden from the turning circle looking south-east towards the formal garden and pond and entry drive. TTA Oct 2017



Figure 52: Formal front garden standing adjacent the hedge looking to the west towards the tennis court. TTA Oct 2017



Figure 53: Front formal garden, standing in same position as Figure 49 above, looking north towards the House. TTA Oct 2017



Figure 54: Front formal garden standing in the same position as Figure 49 looking north-north-east showing part of the turning circle to the house (left of frame). TTA Oct 2017



Figure 55: View of front entry to Oran Park House and garden (south elevation). TTA 2013



Figure 56: South Creek environs showing probably former weir location. TTA 2013



Figure 57: Current 2017 view of the Riparian corridor along South Creek. Note this vegetation along with that surrounding the House is the only remaining vegetation on site. TTA Oct 2017.



Figure 58: Current 2017 view of the Riparian corridor along South Creek. Note this vegetation along with that surrounding the House is the only remaining vegetation on site. TTA Oct 2017.



Figure 59: View looking west from South Creek tank to Coach House and Oran Park House on the skyline. TTA 2013



Figure 60: Current 2017 view of the above image looking west from South Creek tank to Coach House and Oran Park House on the skyline. TTA Oct 2017



Figure 61: Detail of the view looking west from South Creek tank to Oran Park House on the skyline. Water tanks and the silo are also visible. TTA 2013

3.4 Subject Buildings

Refer also to Appendix E Inventory Sheets 2017 for information on important buildings and features.

3.4.1 Oran Park House

External

Oran Park House presents as two storeys to the chief (south) elevation. The building is constructed of masonry and has a tiled hipped roof and simple tall chimneys. Despite the asymmetry created by the c.1940 west wing, the front elevation of the main façade is generally symmetrical with a centrally located door and pairs of double hung windows on either side to both the ground and first floors. A trabeated loggia with centrally located semicircular sandstone steps, sandstone flagging, symmetrically placed columns is located to the ground floor. A recent forged mild steel balustrade surrounds the open first floor level. Windows to the ground and first floors of the building are generally double hung and multi-paned with external timber shutters. It is noted that the shutters are decorative elements only except for the shutters to the windows either side of the front door. At the rear of the house is a courtyard enclosed by a high brick wall. A large reinforced concrete 1930 cistern is located beneath the ground of the courtyard immediately to the rear of the house.

The building has undergone a number of major renovations during its lifetime. The first building at Oran Park was commenced in c1837 during the ownership of John Douglas Campbell. It is unclear what this structure was or its size, however we suggest from an analysis of the documentary and physical evidence that it was probably the Coach House (refer to section 4.0). From 1839-1841, the site was leased to Henry Keck with a requirement of the lease being that he completed the initial building. Johnson then took over the property and probably commenced Oran Park House in c1865. Johnson took out two mortgages on the property and completed the Victorian Italianate house in c1865. He defaulted on his second mortgage to Thomas Barker in 1867. Moore purchased the property in 1871. Johnson installed the belvedere to overlook the property he now controlled. The house was renovated again in the 1930s when owned by Essington More, who removed the roof lantern and water tank and reconstructed the roof with some internal renovations.

Robbins perhaps undertook the most ambitious and substantial renovations to the house in c1940. He changed the style of the house to Georgian Revival by removing the wrap around verandahs on each level, constructing the west wing, extending the south-eastern corner of the house, constructing the front portico and undertaking internal renovations. This renovation has been done with highly skilled competence and probably by an architect with very good design ability. Minor alterations were undertaken again in c1990 by Dawson-Damer.



Figure 62: Front (south) elevation of the house showing the west wing. TTA 2013



Figure 63: West elevations of the house showing the c1865 annex with the 3-storey West Wing that was added by Robbins. TTA 2013



Figure 64: Rear (north) elevation of the house showing the generally symmetrical ground and first floors and the basement level. TTA 2013



Figure 65: East elevation of the c1865 annex showing the link to the house built by Robbins. TTA 2013



Figure 66: image showing the rear of the house and courtyard. TTA 2013



Figure 67: Rear of Oan Park House looking towards Water Tanks. TTA 2013



Figure 68: The rear brick wall surrounding Oran Park House showing its poor condition. TTA 2013



Figure 69: Current Oct 2017 view of the rear (north elevation) of the property. Note the rear courtyard brick wall had gone past the safe lean point and had been assessed by a structural engineer as unsafe and had to be carefully dismantled for safety reasons. TTA Oct 2017

Internal

Internally, Oran Park House is typified by large, grand rooms with timber parquetry flooring to the Ground Floor and recent strip timber board flooring (replacing parquetry) to the First Floor with carpeting in the bedrooms. Kitchens in the property are recent fitouts. Joinery with many adaptations appears to be from the original period (c1865) and later periods. The Basement has stone and brick walls and floors. The former Garage floor is tiled.

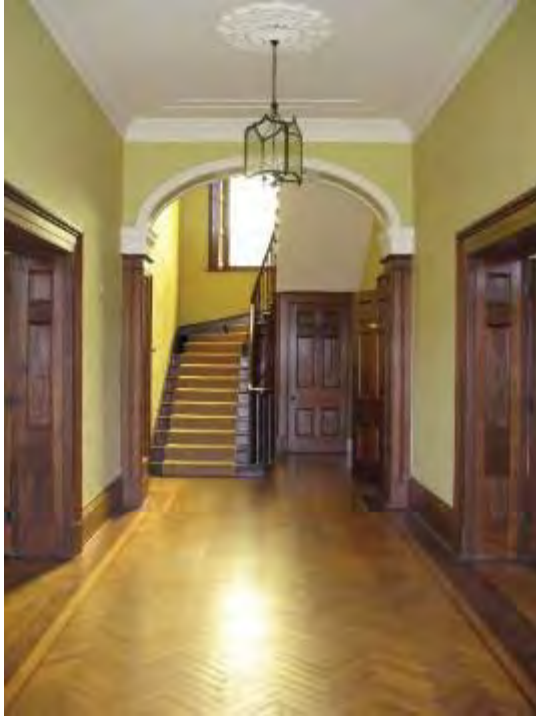


Figure 70: Grand Ground Floor entry hall looking north to the stair leading to the First Floor. TTA 2013



Figure 71: Grand Ground Floor entry hall looking from the stair back to the front door. TTA 2013



Figure 72: Drawing Room. Ground Floor. TTA 2013



Figure 73: Sitting Room looking to the Dining Room. Ground Floor. Note the height of skirting. TTA 2013

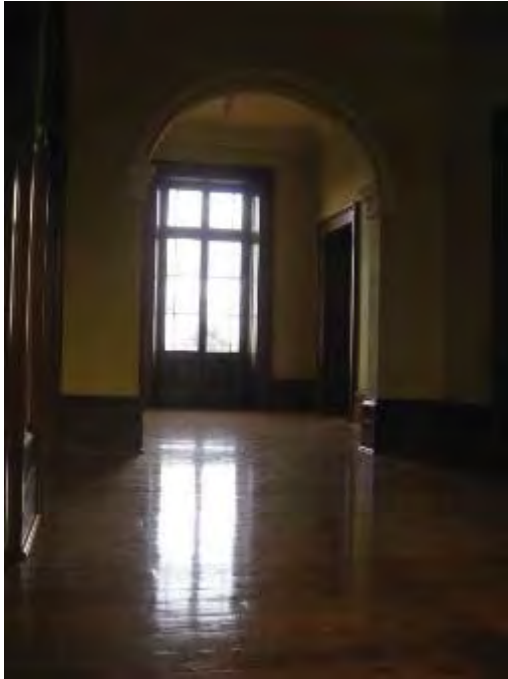


Figure 74: First Floor Stair Hall. TTA 2013



Figure 75: Bedroom 1, First Floor looking east. TTA 2013



Figure 76: Cellar, Basement level, looking west. TTA 2013



Figure 77: Former Garage (Girl's Dormitory), Basement level, looking east. TTA 2013

The following drawings show the evolution of the house.

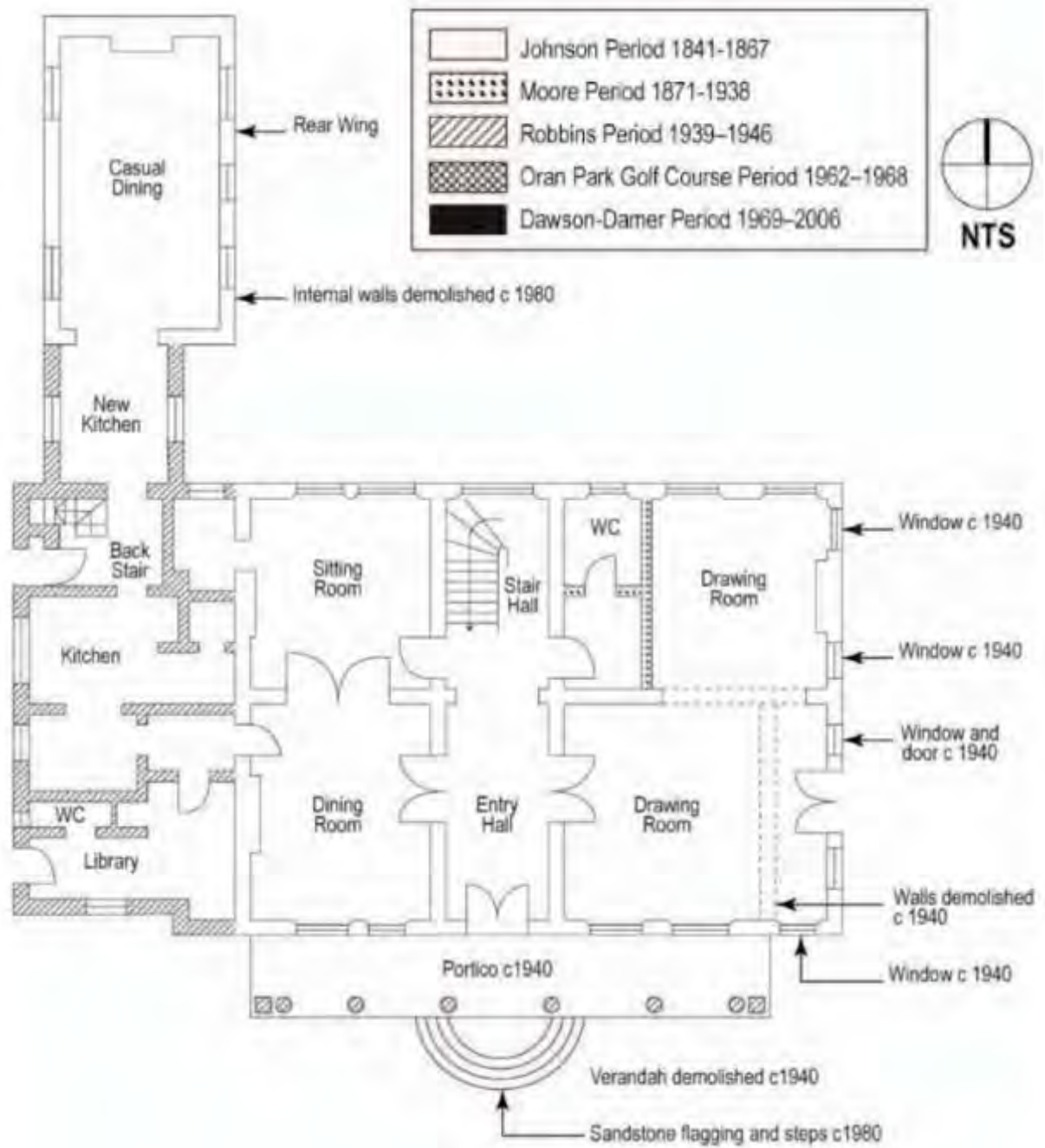


Figure 78: Ground Floor Sketch Plan not to scale. Source: GML 2010 CMP pg. 58.

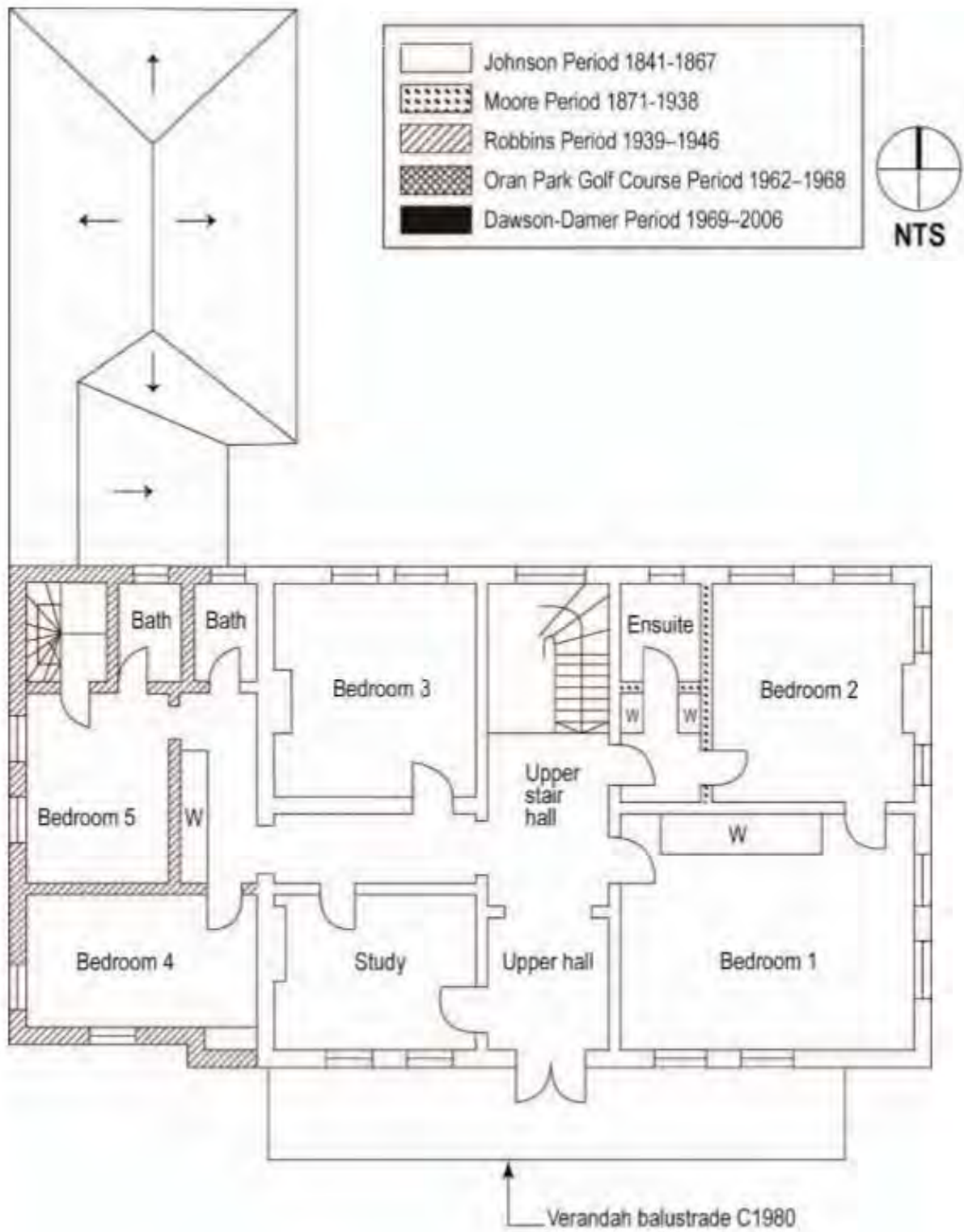


Figure 79: First Floor Sketch Plan not to scale. Source: GML 2010 CMP pg. 59.



Figure 80: Basement Sketch Plan not to scale. Source: GML 2010 CMP pg. 60.

3.4.2 Coach House

The Coach House is located a fair distance to the east of the house. The Coach House was originally constructed in c1837 as a two-storey building (refer Figure 113) with a single storey timber stable on the northern side. It is likely this was the original cottage on the property as noted in the Land Titles dealings. As it stands today, the Coach House is only partly original and has been partly modified with the second storey section pulled down and openings reworked. (Refer to section 4.0).



Figure 81: Coach House, west elevation. TTA Oct 2017



Figure 82: Coach House east elevation. Note Oran Park House to the right of frame. TTA Oct 2017



Figure 83: Coach House, verandah on the east elevation. TTA 2013

3.4.3 Garden Equipment Store

The Garden Equipment Store is a small single storey building located to the north-west of the house built in c1990 and is similar in style to the modified coach house.



Figure 84: Garden Equipment Store, south and west elevations. TTA 2013

3.4.4 Caretaker's House

The Caretaker's House (annotated as "Manager's Residence" on Figure 7) is located to the north-west of Oran Park House and the tennis courts. It is a timber weatherboard house with a gable roof that has been extensively modified. It was relocated to the Oran Park property in the 1940s and has had additions made in 1976 and 1991.

Currently the existing Caretaker's House has been extensively modified by a front addition doubling the size of the original c1920 Interwar cottage. The southern main facade is a flat double

gable elevation. This facade and half of the whole cottage was added in c1976. The size of the addition can be seen in the newer roof sheeting and the rusty roof sheeting. Further additions to the north facade were made in 1991.

The residence is currently constructed from;

- Roof Corrugated galvanized mild steel sheeting and exposed rafter eaves.
- Walls Timber frame and clad with painted timber weatherboards
- Windows Aluminium to new additions and timber to remnant original cottage elevations
- Sub Floor Large common face brick piers (note: these piers are tilting and failing especially to the west elevation)

Historical information suggests the original small cottage was relocated from the Burragorang Valley district, prior to the valley being flooded by water as Warragamba Dam was being built in the 1940's. During the Dawson-Damer period of ownership a caretaker family lived on site to carry out the daily chores and maintain security.

Without thought for the original small-scale cottage design, the large intrusive changes have been made to create the existing caretaker's house. The front and rear facades have been completely rebuilt and the side facades have been modified and reclad.

The appearance of the Caretaker's Residence is an ordinary building following some interwar details. The additions and adaptations have extended the cottage without modulating or stepping the long east and west facades and this has resulted in the additions overwhelming the original scale and design of the cottage. The former cottage is now a large structure and is in poor condition. Refer to Appendix F for further information.



Figure 85: Caretaker's House, south and west elevations. TTA Nov 2017



Figure 86: Caretaker's House, south and east elevations. TTA Nov 2017



Figure 87: Caretaker's House, north and east elevations. TTA 2013

3.4.5 Tennis Court

The tennis court is located to the west of the house, separated by a mature Tecoma hedge. It is fenced with a high chain wire fence with gates leading to the house and to the swimming pool located to the south.



Figure 88 Tennis court looking south to the swimming pool. TTA Oct 2017



Figure 89: Tennis court looking south-east back to the House. TTA Oct 2017

3.4.6 Swimming Pool

The below ground swimming pool was constructed c1970 in the Dawson-Damer period. It abuts the southern end of the tennis court, separated by the tennis court fence and a rose garden, and is enclosed by a masonry wall.



Figure 90: Swimming pool looking south. TTA 2013



Figure 91: Rose garden on the higher level in between the swimming pool and tennis court. Looking north to the tennis court. TTA 2013

3.4.7 Silo

The silo is a round, brick structure with corrugated iron roof located to the north-east of the house. It was likely constructed in c1920 for silage as the base is buried into the ground. This building is evidence of the clay industry at Oran Park.



Figure 92: Silo looking east. TTA Oct 2017



Figure 93: Silo looking west back to the house (visible to the right of frame). TTA Oct 2017.

3.4.8 Elevated Water Tanks

Constructed in c1980, the pair of corrugated metal elevated water header tanks is located to the north of the house. They form a striking landmark in the landscape with the house. The Estate had a reliance on rain and South Creek for water.



Figure 94: Water tanks looking north. TTA 2013

3.5 Garden & Cultural Landscape

3.5.1 Establishment

In c1820 the tract of land, it is suggested, was a wooded open forest landscape (similar to Harrington Park). Clearing this land provided timber for fuel, fencing and building materials and created pasture areas for grazing and cropping. South Creek as a water supply was an essential part of this first landscape modification and site occupation. Buildings were probably originally constructed for initial shelter, to manage livestock with post and rail fencing and stables and then the masonry cottage was built for the occupiers' shelter. The location of this cottage would have been close to South Creek and the land between the house and the creek was probably used for productive gardening for household crops for the occupants. This area may have included orchards. It is suggested that the Coach House is this first building complex. It is also suggested that South Creek was dammed by a weir as it is today.

3.5.2 Classical Italianate Villa in the Landscape

The Classical Italianate style villa constructed in c1865 is an unusual design for a country house. It is a design style more suited to town or urban environments. The house was orientated to face south and was built on the end of a high ridge extending from the west, east towards South Creek. The c.1865 house was constructed with a south parapet and box gutter, two-storey verandah and a belvedere (lookout) to the north-east corner of the roof. From the orientation of the house it is suggested that the presentation garden was situated to the south and overlooked by the front door and frontage of the house. Excavation into the ridge knoll created cellars/basement spaces that were tempered by the earth's natural cooling. The sub-floor masonry walls are supported by Mt Hunter Stone with brick above to the natural ground level to keep these rooms cool.

To the north and eastern zones of the house it is suggested that productive gardens were developed. The presentation garden included a carriage loop, probably terracing, a low front fence and gates. The fence was built like a 'ha-ha', as an invisible fence with a low masonry retaining wall. The gate appears to have had a symbolic track – a landscape garden device to lead the eye out into the civilised agrarian landscape – leading from the presentation garden and connecting it with the surrounding paddock landscape. The principal access track leads to the south-east towards the Coach House and the junction of Camden Valley Way and Oran Park Drive. This track was later reinforced by the Moores as the access way to Badgally House.

The pictorial evidence shows that the presentation garden had an extensive planting of Pinus species trees by their shape and structure. The Pinus appear to be planted to the boundary. The terrace garden appears to be established and it is the same setout as found today. The surrounding paddocks to the house lot were pasture and probably used for grazing and cropping for grain, hay and silage production.

3.5.3 First House Adaptation

c1900 – 1920 the house's presentation with a parapeted front roof and belvedere was changed to a pitched roof extending over the parapet, changing the character of the house. It is suggested this was to avoid water problems caused by the former box gutter systems. This style of house design is more characteristic of pastoral houses with eaves extending beyond the walls. The two storey verandah was retained and water management included rainwater tanks beside the house.

The landscape appears to have remained without too much change in that the carriage loop and low front fence and symbolic access track leading into the paddock landscape were retained. The plantings in this landscape showed Araucarias to the western side of the carriage loop. Other plantings included Stone Pine, African Olives and shrubs and possibly Eucalypts. Terracing appears to have been used in the garden to create level areas. The agricultural use of the property appears to have been for pasture, grazing, cropping and silage. During this period the silo was constructed to the east of the house. The main use of this silo was probably in the production of silage for dairy cattle.

The principal entry to the house at this period was from the south-east gate at the junction of Camden Valley Way and Oran Park Drive.

3.5.4 Second House Adaptation

c1940 – 1970 the house, during this period, was extensively restyled from a Colonial period house to a grand Interwar Period Georgian Revival house that removed the two-storey verandah, infilled the side wings and installed a large hipped roof over the whole structure including the western extension. The residence was now a grand building with significantly large internal rooms. During this period the building was used as a residence and later as a club house for the golf course and then reverted back to a residence c1970.

The garden at this time appears to have been extensively developed with Chinese Elm plantings to the circular carriage loop and the front presentation garden was fenced. It is unclear when the ornamental fish ponds were included in the design but their characteristic is c1950s. The garden included a tennis court. The presentation garden maintained its symbolic track looking out from the house – this time it was over golf greens and fairways rather than the productive agricultural pastoral lands.

The remainder of the property that was not used for the golf course appears to have been used for grazing and some cropping. At this time the principal driveway linking the house entry and Camden Valley Way was planted with alternate Yellow Plum Pine and White Cypress Pine trees to both sides of the road for approximately 600 metres.

3.5.5 Dawson-Damer Period

The house during this period was extensively styled and, it is suggested, some walls removed to further open up the house's internal spaces. The house was refitted by the family and the place became known as "The Farm".

The Dawson-Damers enlarged the garden area, building a new southern entry arrangement that further extended into the paddocks, developed the northern gardens with productive sheds, tanks and water management systems; and established an olive grove. They were responsible for developing the straight access track into a driveway because of land subdivision into five acre lot frontages to Camden Valley Way and Oran Park Drive. The south-east access was cut off and thus the paddock track that was once a symbol became the primary access for the house which also may have served as an easy access to Oran Park Raceway.

The Dawson-Damers did extensive work to re-invigorate the pasture lands, re-worked the Coach House for occupation and undertook, in the presentation garden, extensive plantings of Chinese Elms, palms and various other deciduous and evergreen trees. They also included development of the swimming pool and a new shelter shed for garaging and garden equipment.

3.5.6 The Estate Linkages

The Estate is connected to the cultural landscape through various elements. Entry tracks from the road frontages of Camden Valley Way and Oran Park Drive pass through the landscape of grazing paddocks and cropping fields to the house paddock. It is suggested the first tracks led to the building now called the Coach House which was probably built in c1837 as a 2-storey building. This axis line is probably reinforced by the earlier paddock and fence arrangements.

A line of trees in the 1947 aerial photo running north-south between Oran Park Drive and towards the Coach House was probably on a fence line or an earlier driveway.

The driveway from Camden Valley Way was in use at least from c.1870 when the Moores travelled between Oran Park and Badgally properties.

The current driveway makes use of the presentation formal garden's axis that leads the eye of the occupant towards the extensive paddocks and it is suggested it was first established as a symbolic track of the garden design and house presentation.

The positioning of buildings appears to be related to farm management with the 'Coach House' being established near South Creek for water and probable productive gardens to the east of the building.

The 2-storey villa house with basement was certainly sited and designed to give the occupants extensive views over the land holding in all directions.

Past use of the land created the open, sparsely forested, agricultural lands through:

- timber getting for construction, fencing and fuel
- pastures for livestock
- tilled earth for cropping
- initial close connection to South Creek for water supply
- buildings for livestock shelter and management
- siting of the c1865 house on a dominant ridge with good outlook
- garden development with symbolic connections to the agrarian landscape
- entryway linking the house to the corner of Camden Valley Way and Oran Park Drive.

All these components of the past Estate link the building complex to the cultural landscape.

3.5.7 Garden Features

The garden around the house has:

1. Circular arrival driveway leading to the front terrace and front entry of the house
2. Presentation garden with terracing/benches, fountain, lawn, extensive tree plantings
3. Utility driveway leading to the rear of the house and productive gardens
4. Tennis and swimming pool recreational area on the western side
5. Sandstone paved terrace and fountain to the eastern area accessed from the living rooms of the house
6. Utility and productive garden to the north of the house
7. Herb garden near the kitchen entry.

3.5.8 The Current Landscape - 2017

The Oran Park Estate was approved for residential subdivision in 2013. Approved residential subdivision works have since commenced, with much of the site outside of the homestead lot already subjected to grading works and preparation of the site for housing, and construction of new residential roadways. As such, not much of the once rural landscape remains save for the plantings in the homestead lot (postdating the 1940s) and the riparian corridor along South Creek. The area outside the immediate curtilage has been subject to substantial landscape development with many elements altered or removed.

Refer to the Addendum November 2017 at the front of this report and Figures 4-13 and 95 over page.



N ↑

Figure 95: Cadastral plan of the Oran Park Estate showing the extent of recent and ongoing residential subdivision.
Source: Sixmaps

3.6 Archaeology – Aboriginal and European

3.6.1 Aboriginal Archaeology

Archaeological investigations have been carried out over the site and throughout the surrounding precincts over a number of years. The most recent of these reports are by Kelleher Nightingale Consulting Pty Ltd (KNC):

- *Catherine Fields (Part) Precinct, South West Growth Centre: Aboriginal Heritage Assessment*, July 2012
- *Catherine Park Aboriginal Archaeological Assessment Test Excavation Report*, May 2014
- *Catherine Park Cultural Heritage Assessment Report*, June 2014
- *Catherine Park Cultural Heritage Assessment Report: application for an Aboriginal heritage impact permit (AHIP) made under section 90A of the National Parks and Wildlife Act 1974*, undated

These reports contain a lot of the same information that has been expanded upon following further site investigations, research and testing. The information contained in these reports is too vast to summarise succinctly here, so the focus has remained on the Stage 6 Subdivision area. Please refer to Appendices I-K for further detailed information on Aboriginal Archaeology of the site.

Past reports have determined Potential Archaeological Deposits (PADs) and/or artefacts throughout the area, however none are within the Stage 6 zone which is the focus of this report except for part of the “Artefact scatter” labelled CFPP-02.

“The highest artefact densities in the region tend to be situated close to major creek lines, reflecting past Aboriginal people’s more focused use of these areas and the resources they offered. Within the flood zones of these watercourses, the archaeological record of this occupation is impacted by repeated episodes of erosion and deposition. These processes affect the spatial integrity of archaeological deposits, by moving artefacts out of context and redepositing them elsewhere within the flood zone. Isolated finds and artefact scatters are common along creek systems, but often the spatial integrity of these is compromised and the archaeological information they contain is limited.” (Kelleher Nightingale: Test excavation report 2014: pg.7).

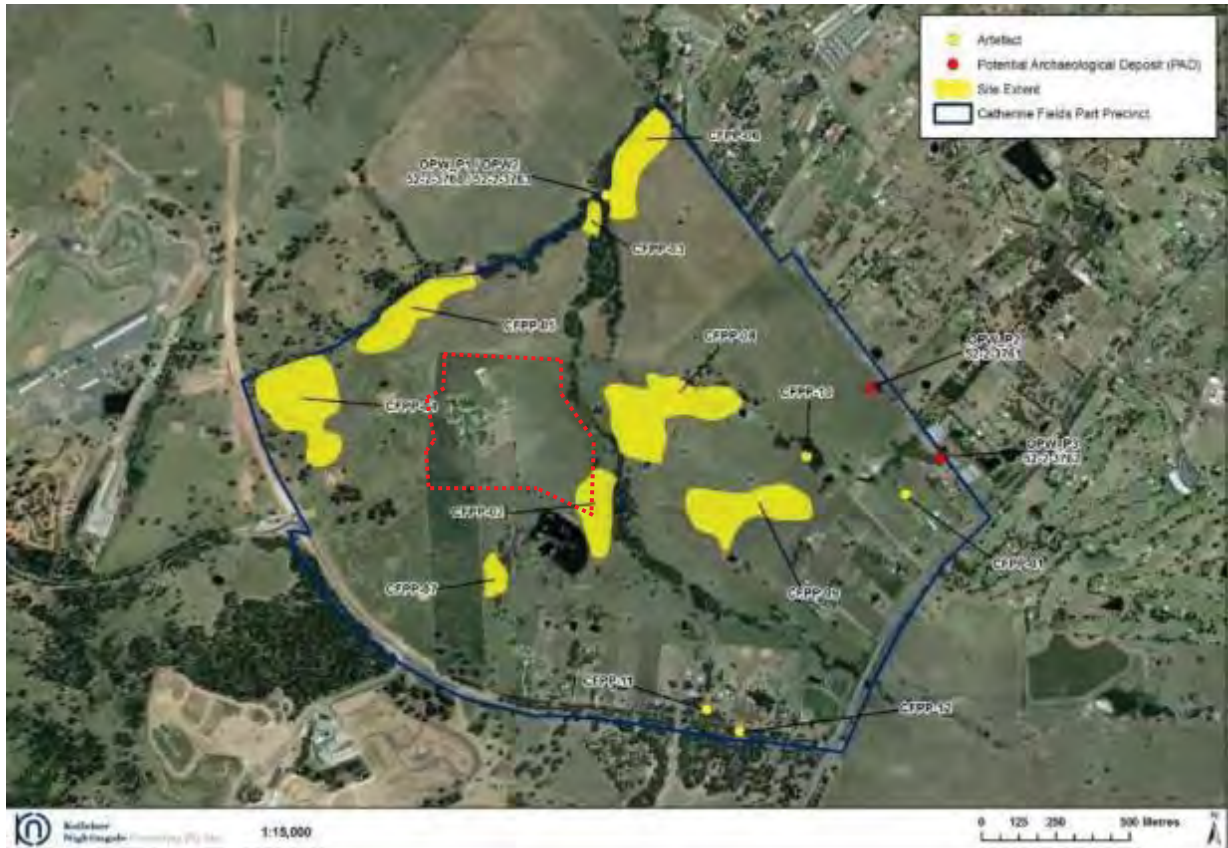


Figure 96: Aboriginal archaeological features in Catherine Fields (Part) Precinct. Note that none of the features are present within the Stage 6 subdivision zone (shown by the red dash line) around the homestead which is the focus of this CMP. Source: Kelleher Nightingale: Aboriginal Heritage Assessment: 2012: pg.23 – red dashed line showing Stage 6 subdivision study area added by TTA.

The 2012 KNC *Aboriginal Heritage Assessment* details the following on pages 25 & 26:

| | |
|--------------------------------|---|
| Site Name: | CFPP-02 (AHIMS # 52-2-3926) |
| Site Type: | Artefact scatter |
| Property Type: | Oran Park House |
| Site Coordinates: | GDA 94 MGA 56 292450E 6234180N AGD 66 AMG 56 292345E 6233990N |
| Landform: | Flat |
| Vegetation: | Dense grass |
| Surrounding Features: | South Creek borders eastern margin of site |
| Site Extent: | 300 m x 120 m |
| Site Condition: | Moderate Vegetation clearance, historical road through middle of site, large dam on south western margin, lower eastern margin periodically flood affected |
| Site Boundary Criteria: | Landform |
| Significance: | Moderate |
| Map: | Figure 7 |
| Site Contents: | |

| Artefact Type / Reduction Type | Raw Material | Colour | Platform Type | Termination Type | Length (mm)* | Width (mm)* | Thickness (mm)* |
|--------------------------------|--------------|--------|---------------|------------------|--------------|-------------|-----------------|
| M.F.F. | Silcrete | Pink | - | - | 9 | 4 | 2 |
| M.F.F. | Tuff | Yellow | - | - | 10 | 5 | 3 |
| Flake | Silcrete | Red | Plain | | 22 | 17 | 10 |

* = Block measurements

M.F.F. = Medial Flake Fragment

Site CFPP-02 was a large site across a slightly elevated flat landform bordering South Creek. The site measured approximately 300 m north-south by 120 m east-west and was bordered to the east by South Creek, to the west by an unnamed 1st order tributary and to the southwest by a very large dam. Vegetation across the site consisted primarily of dense grass with some exotic trees bordering an old, unused access road to Oran Park House. The historical road runs on a southeast – northwest axis through the centre of the site.

Three artefacts were identified within the site: one resting above the west bank of the creek and two on the dam wall in the south western margin of the site.

A single silcrete flake was identified 100m north of a vehicle track crossing of South Creek on the western bank of the creek/small dam. The flake was visible within an eroded foot/animal track.

The body of the dam was located to the southwest of the site, with the dam wall standing up to 3 m high. The body of water held by the dam wall was quite large – measuring approximately 250 m by 165 m. Across the dam wall was a narrow, 0.5 m wide unformed track where surface visibility was up to 60%. The two artefacts were identified 15 m apart on that track.

Surface disturbance within site CFPP-02 included vegetation clearance and minor impact through the centre of the site from the historical access road to Oran Park House. Impact from the large dam appeared to have been limited to the south western margin of the site.

Continued over page

Photographs:



Plate 3. View south from the northern margin of CFPP-02



Plate 4. View south across dam wall



Plate 5. View south showing the densely vegetated margin of site CFPP-02 bordering South Creek



Plate 6. Silcrete medial flake fragment, site CFPP-02



Plate 7. View north across site CFPP-02 from the dam wall



Plate 4. Tuff medial flake fragment, site CFPP-02

3.6.1.1 Test excavations

Test excavations were carried out on the Oran Park estate site as detailed in the following image.

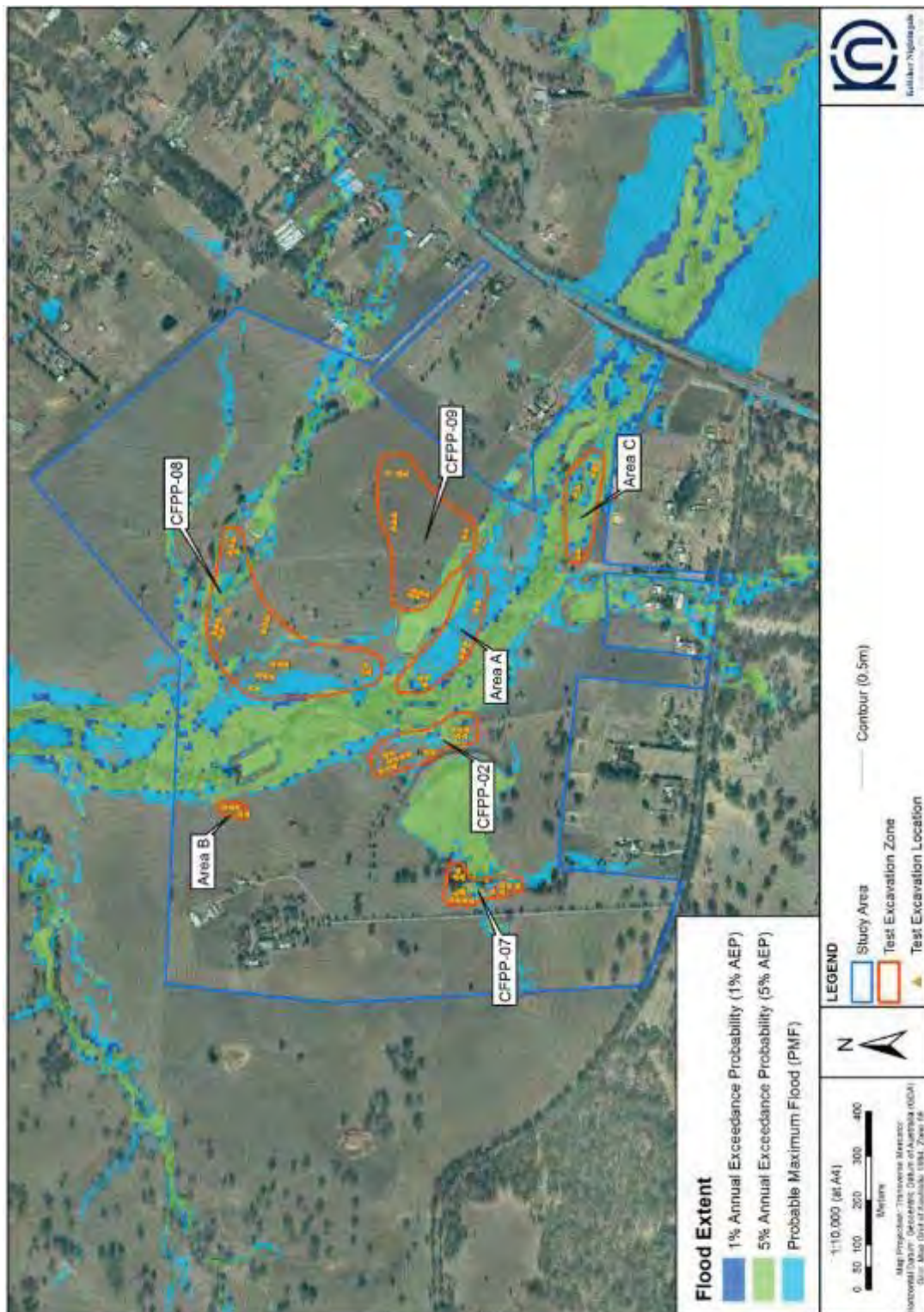


Figure 8. Test excavation zones and location of test excavation units

Figure 97: Test excavation zones and location of test excavation units. Source: KNC Catherine Park: Aboriginal archaeological test excavation report May 2014 pg.13

Test excavations on the site revealed the following. Focus again in the information included here has been on Stage 6.

CFPP-02

A total of 13 artefacts were retrieved from 16 dispersed 50cm x 50cm test excavation units across CFPP-02. Test units were laid out on a 15m grid pattern, with units on the north-south axis offset by 5m intervals. The total area of excavation was 4m². Artefact distribution for each test excavation unit is shown on Figure 10 and Table 3.

Table 3. Test excavation artefact densities for CFPP-02

| Easting | Northing | Total Artefacts | Easting | Northing | Total Artefacts |
|---------|----------|-----------------|---------|----------|-----------------|
| 426 | 166 | 0 | 447 | 091 | 1 |
| 426 | 181 | 0 | 456 | 166 | 1 |
| 426 | 196 | 0 | 456 | 181 | 1 |
| 441 | 131 | 6 | 482 | 005 | 0 |
| 441 | 146 | 2 | 482 | 020 | 0 |
| 441 | 161 | 2 | 497 | 010 | 0 |
| 441 | 176 | 0 | 497 | 025 | 0 |
| 447 | 077 | 0 | 497 | 040 | 0 |

Mean artefact density across the site was 3.25/m². Ten test units contained no artefactual material (62.5% of test units). The majority of artefacts retrieved from CFPP-02 were located in excavation unit 441E 131N (n=6 or 46%), with adjacent units 441E 146N and 441E 161N both containing two artefacts each. Excavation units at 447E 091N, 456E 166N and 456E 181N each contained a single artefact. When the distribution of artefacts recovered at CFPP-02 is superimposed on flood modelling data and topography, the spatial relationship between these factors and artefact density is evident. Artefacts were concentrated on the higher, more stable northern terrace landform. Test excavation units located in the southern portion of the site did not yield any artefacts. It can be expected that this area will have been subject to more frequent and high-energy flooding events than the northern portion and this has adversely affected any archaeological deposit in this location.

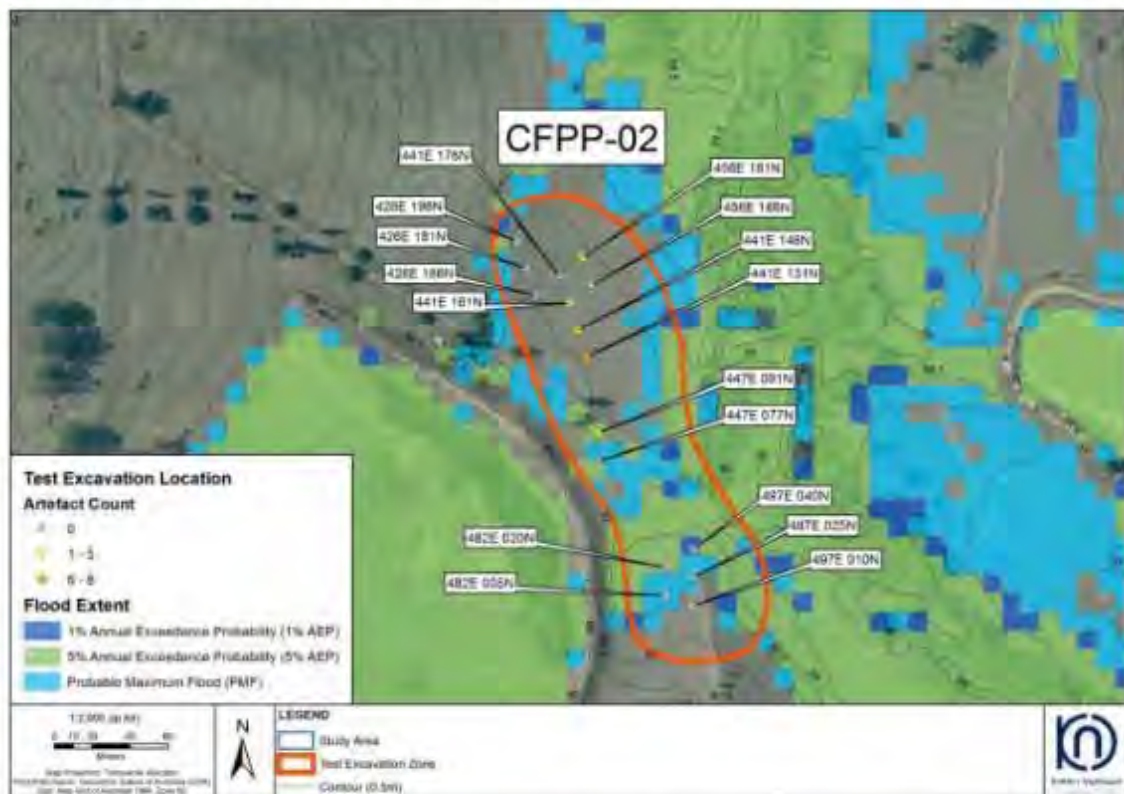


Figure 10. Test excavation locations and artefact counts at CFPP-02

Figure 98: Test excavation locations and artefact counts at CFPP-02. Source: KNC Catherine Park: Aboriginal archaeological test excavation report May 2014 pg.19

Area B (CFPP-15)

Eight artefacts were retrieved from test excavation at Area B. A total of five excavation units measuring 50cm x 50cm were excavated at this area on a 15m grid pattern, with a total excavation area of 1.25m². Artefact distribution for each test excavation unit at Area B is presented in Table 8 and Figure 14.

Table 8. Test excavation artefact distribution for Area B

| Easting | Northing | Total Artefacts | Easting | Northing | Total Artefacts |
|---------|----------|-----------------|---------|----------|-----------------|
| 306 | 496 | 0 | 321 | 531 | 8 |
| 306 | 511 | 0 | 321 | 546 | 0 |
| 321 | 516 | 0 | | | |

All artefacts at Area B were retrieved from a single test excavation unit, 321E 531N. Mean artefact density extrapolated across the area was 6.4/m². The archaeological deposit identified at Area B constitutes an artefact scatter and has been designated as site CFPP-15 (see Figure 17),

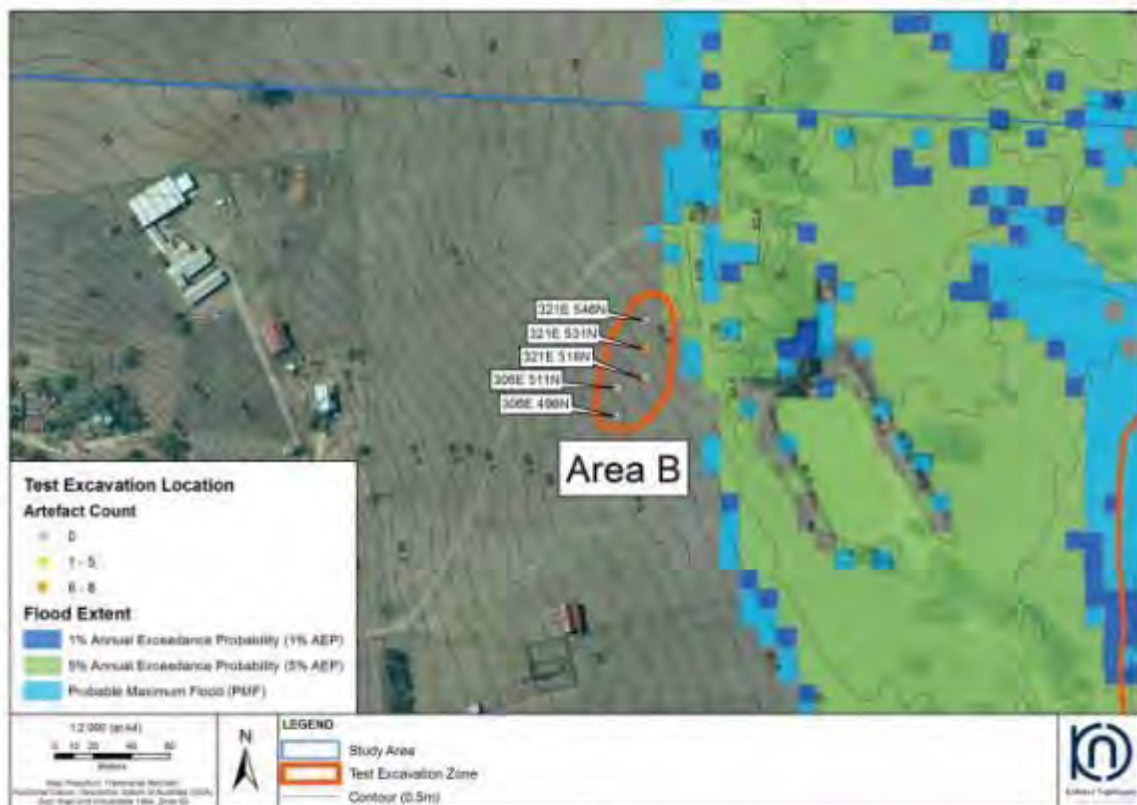


Figure 14. Test excavation locations and artefact counts at Area B

Figure 99: Test excavation locations and artefact counts at Area B. Source: KNC *Catherine Park: Aboriginal archaeological test excavation report* May 2014 pg.24

“All eight artefacts retrieved from Area B came from a single excavation unit. The majority of artefacts were silcrete (n=6 or 75%), with single instances of quartz (distal flake fragment) and tuff (distal flake fragment). The complete silcrete flake at Area B displayed some remnant cortex. The remainder of the assemblage was broken debitage. The concentration of artefacts at the base of slope represents a lag deposit, capturing artefacts that have moved downslope to collect in an area of relatively recent slopewash. The artefact scatter discovered at Area B as a result of the test excavation program has been designated archaeological site CFPP-15.” (KNC: test excavation report May 2014: pg.28).

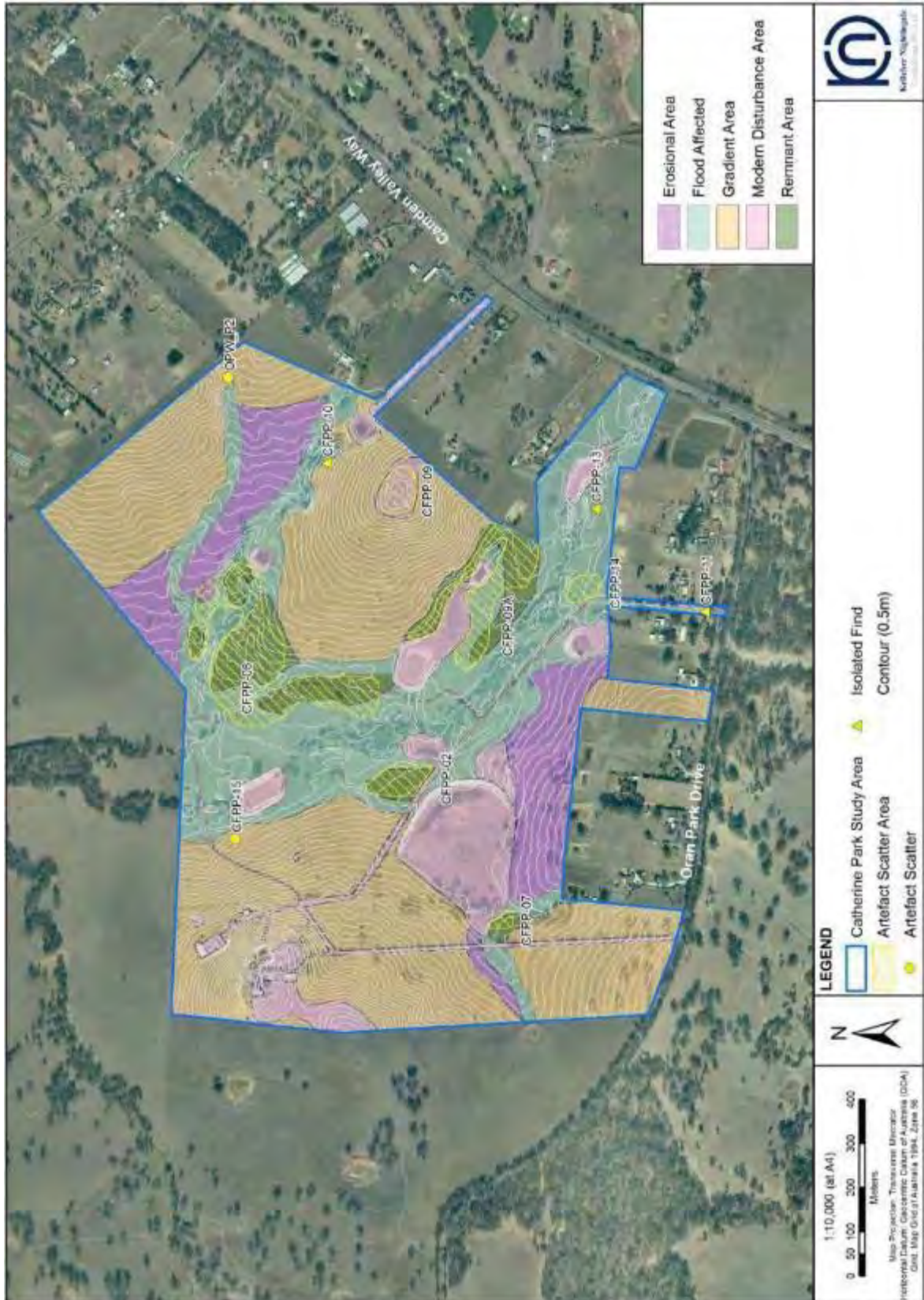


Figure 16. Archaeological sites and disturbance within the study area

Figure 100: Archaeological sites and disturbance within the study area. Source: KNC Catherine Park: Aboriginal archaeological test excavation report May 2014 pg.30

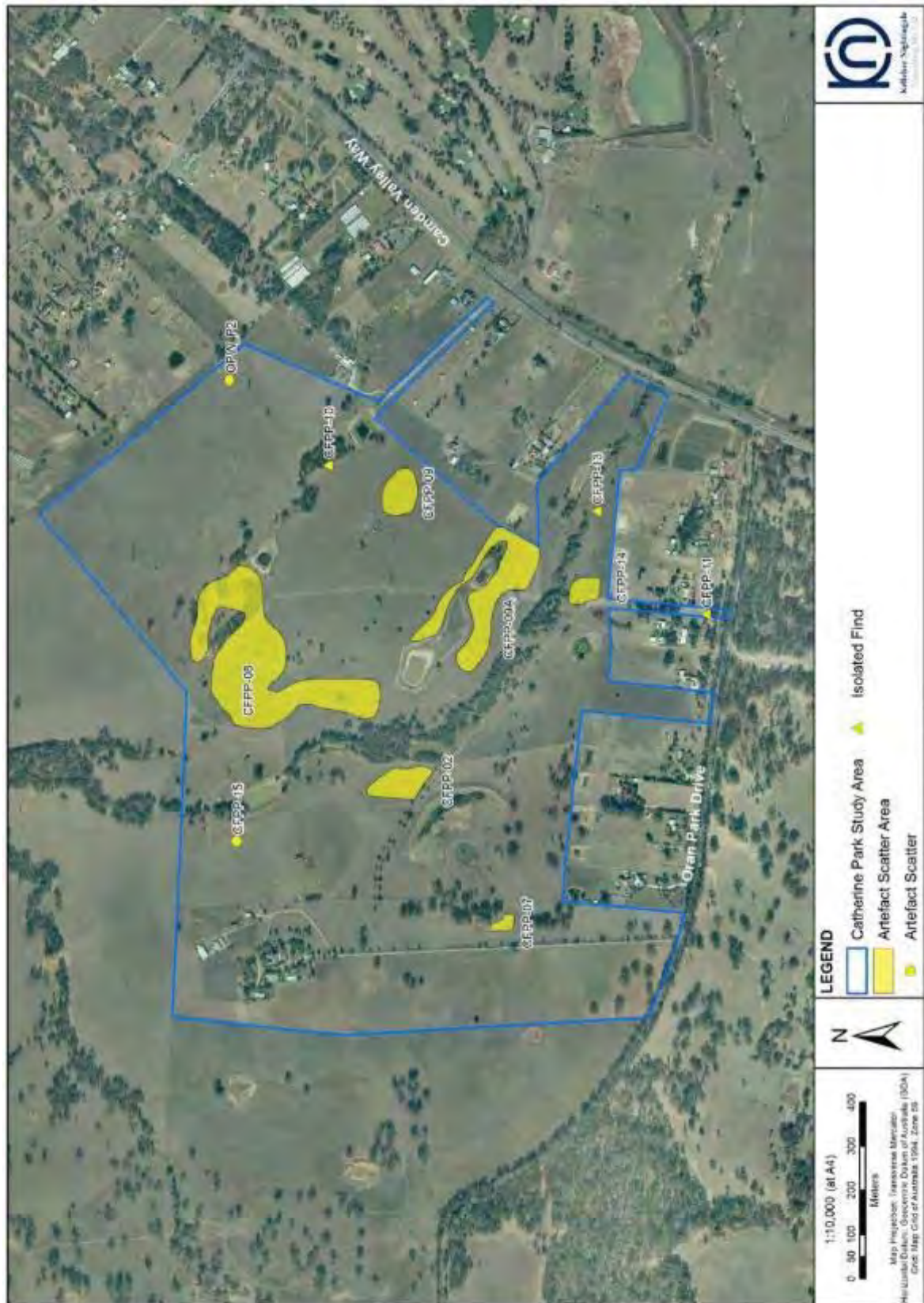


Figure 101: Results of text excavation program – archaeological sites within the study area. Source: KNC Catherine Park: Aboriginal archaeological test excavation report May 2014 pg.31

Figure 17. Results of test excavation program – archaeological sites within Catherine Park

3.6.1.2 Assessment Process

The following assessment by KNC was given to the relevant archaeological sites within the study area of this report as below.

CFPP-02

“Site CFPP-02 (52-2-3926) was an artefact scatter site located on a flat terrace immediately west of South Creek. A large dam borders the site to the west. Test excavation demonstrated that the archaeological deposit at this site is concentrated on the stable northern portion of the terrace at the margin of the flood zone, with all artefacts recovered from the site located in this area. Artefact scatters are a common site type in the local and regional context. The terrace displayed good archaeological integrity and the artefact assemblage retrieved during testing suggests there may be some differences in raw material use at this location. The site is considered to have moderate research potential.” Source: KNC *Catherine Park: Aboriginal archaeological test excavation report* May 2014 pg.34

Moderate archaeological significance means that “these sites are considered to display some representativeness, some rarity, moderate-high archaeological integrity and moderate research potential. These sites are considered to retain archaeological information that will contribute to our understanding of Aboriginal people’s use of landscapes at Catherine Park and in the local area.” KNC *Catherine Park: Aboriginal archaeological test excavation report* May 2014 pg.35

CFPP-15

“Site CFPP-15 (52-2-4106) was an artefact scatter recorded on the lower slope of test excavation location Area B. Artefacts recovered from the testing program included raw materials and artefact types common in sites within the local area and region. The integrity of the archaeological deposit at this site was low-moderate and the site is representative of a low density archaeological deposit. The site is considered to retain low research potential.” Source: KNC *Catherine Park: Aboriginal archaeological test excavation report* May 2014 pg.35

“Site CFPP-15 was an artefact scatter recorded on the lower slope leading up to Oran ParkHouse, immediately west of the creek corridor. The integrity of the archaeological deposit was affected by erosion and was the result of a lag deposit which had captured artefacts moving off the western slopes. Artefacts were found in a relatively recent homogenised slope wash, which had accumulated at the base of a slight drainage corridor terminating above recent fluvial activity. Artefacts at this site are in a secondary context. The site exhibits low archaeological significance due to the migration of soil.” Source: KNC *Catherine Park: Cultural Heritage Assessment report* June 2014 pg.17

Low archaeological significance means that “these sites are considered to display low representativeness, low rarity, low archaeological integrity and low research potential. They are unlikely to retain any further information to inform on past Aboriginal people’s use of the landscape at Catherine Park and in the local area.” KNC *Catherine Park: Aboriginal archaeological test excavation report* May 2014 pg.35

3.6.1.3 Impact and Recommendations

“This CHAR evaluated the potential harm of the development on Aboriginal archaeological heritage in terms of Ecologically Sustainable Development (ESD). The ESD assessment of Aboriginal heritage evaluated: long-term and short-term considerations, precautionary environmental impacts, maintenance and enhancement for future generations and cost/benefit of impacting on archaeological objects.

Avoiding harm to Aboriginal archaeological sites was unfortunately not possible due to the requirements of the Catherine Park [Oran Park] development. However, none of the identified archaeological sites warrant outright conservation. The scientific value of the sites is linked to the information the sites contain. Recovery of this information through salvage excavation will offset the loss caused by development. The loss of intrinsic Aboriginal cultural value of impacted sites cannot be offset, however the salvaged information will assist in a better understanding of conserved archaeological sites (e.g. next door at Harrington Grove) and allow informed future

management decision-making for the future development of the South Creek corridor.” Source: KNC *Catherine Park: Cultural Heritage Assessment report* June 2014 pg.20

KNC recommended that an Aboriginal Heritage Impact Permit (AHIP) would be required prior to the commencement of works affecting the site. The moderate significance of the CFPP-02 site requires a salvage excavation of a representative sample of the site prior to impact. It was deemed that due to the low significance of the CFPP-15 site that salvage was not warranted due to the existing disturbance of the site.

3.6.2 European Archaeology

The site has some areas of archaeological potential. Potential archaeological remains at the site include the following:

3.6.2.1 Early land use/site clearing

These types of resources would probably have been destroyed by the development of Oran Park as a working farm.

3.6.2.2 Early Agricultural Pastoral Improvements

As the place has been intensively worked for a long time and over different paddock arrangements and uses (including golf course), evidence has probably been lost.

3.6.2.3 House, outbuildings and gardens

Previous configurations of footings may exist for walls, footings and structures from earlier times. Gardens are typically sensitive to reworking and redesign. Hard landscape elements may exist.

3.6.2.4 Coach House zone

The Coach House area may contain footings and previous surfaces associated with residential and farm management. It is likely old surfaces remain near the Coach House.

3.6.2.5 Driveways

Evidence of driveways exist through hard and soft landscape elements. There are many farm tracks with the south-east track being the most extensively used

3.6.2.6 Domestic Artefacts

Rubbish tips and underfloor areas may remain undisturbed within the House environs.

3.6.3 European Archaeological Impact Assessment 2017

In August 2017, Casey & Lowe conducted an Archaeological Impact Assessment at the Oran Park site, focusing their study on the Stage 6 approved subdivision area. This section provides a summary of their findings. Please refer to Appendix E for the full Casey & Lowe report.

3.6.2.1 Site visit August 2017 findings⁶⁸:

- “No evidence of archaeology, such as footings or artefact scatters, was visible” in the heavily landscaped area in front of the House. “It is unlikely, but not impossible, for such remains to have survived in a heavily landscaped area. The early coach circle is probably below the existing drive in front of the house. It is also possible that evidence of the early coach circle has been removed by later modifications.” (Casey & Lowe: 2017:pg.11)
- “A length of a second, later driveway leading from Camden Valley Way also remains to the east of the house. No evidence of the southern portion of the drive could be found, although part of the bitumen road branching off the main Cobbitty Road driveway is on the same alignment as the driveway shown in the 1947 photograph (Figure 3.1). Still on the same, earlier alignment, the bitumen driveway becomes a dirt track to the north of the silo and terminates at the large sheds in the north of the study area. This driveway, however, is likely to postdate 1904 as it cuts through the land which belonged to George Graham until this time.⁶⁹” (Casey & Lowe: 2017: pg.11)

⁶⁸ Casey & Lowe: 2017: pp11-13

⁶⁹ GML 2012:31-32

- With approved repairs and maintenance works commenced and in some areas completed at the back of the house, the silo and the coach house, "No archaeological remains, such as artefact scatters or footings, were observed in these areas, although they may be buried or obscured below the current landscaping structures." (Casey & Lowe: 2017: pg.12)
- Beyond the house environs no evidence of past structures was found in the open grassed paddocks except for evidence of a recently removed fenceline (refer Figure 75). "Development had already begun on some of the land in the south and east of the study area. Substantial areas of land within this area had been buried below imported imported soil used to build up and level the land. Some of these mounds were quite overgrown and had been there for some time, while others appeared to be quite fresh and recent. Based on historical analysis, these areas are unlikely to have contained archaeological material however, the soil has completely obscured any remains that might have been present...Large areas of land in the south and east of the study area also appeared to have been recently graded in preparation for construction." (Casey & Lowe:2017:pg.12).

Casey & Lowe stated:

During the site visit particular attention was paid to four (sic) possible structures identified on the 1947 aerial photograph (Figure 3.1 [TTA figure 98]) which were no longer apparent on the 2017 Google satellite photo. No trace of the three possible structures was found, although their remains may be present beneath the overgrown grass or below ground. It is also possible that the shapes in the 1947 photograph were not structures but items which would be unlikely to leave an archaeological signature, such as water troughs, trucks, farm equipment or temporary sheds.⁷⁰

⁷⁰ Casey & Lowe: 2017:pg.13



Figure 3.1: An aerial photograph dating to 1947 shows a driveway leading from Cobbitty Road (south west of the study area) up toward the sheds to the north of Catherine Park House. The Stage 6 boundary is indicated in red. The green circles indicate possible features investigated during the site visit.

Figure 102: Casey & Lowe areas of investigation. (Casey & Lowe: 2017:pg.11).



Figure 103: Evidence of recently removed fenceline in the paddock north of Oran Park House. Source: Casey & Lowe: 2017:pg.12, Figure 3.2.



Figure 104: Large mounds of soil in the northeast corner of the site looking to the north-east. Source: Casey & Lowe: 2017: pg.13, Figure 3.3.



Figure 105: Grading of the land in the southern portion of the site looking to the east showing the fringe of surrounding residential subdivision development. Source: Casey & Lowe: 2017: pg.13, Figure 3.4.

3.6.2.2 *Archaeological Potential*

The archaeological potential of the site was assessed in the GML 2012 report. The relevant sections of this were reproduced in the Casey & Lowe report as below:⁷¹

The Oran Park House precinct has some potential to contain archaeological evidence of former buildings and other features or infrastructure in this area. The location of the original c1830s dwelling house, its form or construction materials, have not been determined through historical information or site inspection. It appears likely that the existing Oran Park House was constructed on the same site as the original dwelling, and therefore obscured, disturbed or incorporated any Catherine Fields (Part) Precinct—Non-Indigenous Heritage Assessment—Draft Exhibited 36 Report, June 2012 remains of the original building. Alternatively, the original dwelling may have been constructed in the vicinity of the existing residence. The area surrounding the existing house therefore has some archaeological potential to contain remains of the original house. This evidence may include structural remains (post holes, stone or brick foundations), paving, pits, occupation deposits, artefacts, and other features and/or deposits. However, the location, nature and extent of any such evidence, and its likely integrity, have not been determined at this stage.

The Oran Park House precinct also has some potential to contain archaeological evidence of nineteenth century outbuildings and other farm buildings and infrastructure associated with either the original dwelling or the subsequent residence. This evidence may include structural remains (post holes, stone or brick foundations), paved floors or paths, occupation deposits (internal or yard deposits), garden features (garden bed edging, paths, botanical evidence), privies, wells, cisterns, and/or other features and deposits. Such evidence would be concentrated around Oran Park House and the coach house (which is within the Oran Park setting precinct). The extent and location of any such evidence is difficult to determine, given the absence of detailed information about outbuildings, farm buildings and gardens in the historical record. Most of this evidence, where it survives, is likely to have been subject to at least some minor disturbance, particularly in the immediate vicinity of the house and coach house, as a result of later landscaping and modification, as well as the installation and upgrading of services and utilities to the site throughout the twentieth century.

The Oran Park setting precinct also retains potential for physical evidence of early driveways to survive. The existing Cobbitty Road entrance drive appears to follow the alignment of the original driveway, so earlier driveway surfaces (eg packed earth, gravel, paving, cobblestones), including the original driveway, may survive beneath the existing surface. Sections of a second entry drive, which extended from Oran Park House to the intersection of Cobbitty Road and Camden Valley Way, also survive in the study area. Some of the driveway has been subject to disturbance or is no longer visible, but double lines of trees still survive along sections of the alignment closest to the house. There is potential for earlier surfaces of this driveway to survive along its length, though this is less likely in the Cobbitty road hobby farm precinct, given higher levels of disturbance.

On the basis of this assessment, three key areas of historical archaeological potential have been identified, as described in Table 4.1 and Figure 4.1.

⁷¹ Casey & Lowe: 2017:pp.14-16. Original source: GML:2012

| Areas of Historical Archaeological Potential | Potential Remains | Integrity | Potential |
|--|--|--|---------------|
| Oran Park House and surrounds— incorporating the house site/s, farm and domestic outbuildings, garden areas and the coach house. | Structural remains (post holes, brick or stone foundations) of original house (possibly) and various outbuildings; stables and tuning circle associated with coach house; brick or stone paved areas (floors, paths); occupation deposits (underfloor/within structures and external yard deposits); garden features (garden bed edging, paths, botanical evidence); deeper subsurface features (privies, wells, cisterns), artefacts (isolated objects, artefact scatters, artefact bearing deposits), other features and deposits. | Various; most areas subject to at least minor disturbance. Deeper features and more substantial remains (eg foundations, paving) more likely to survive than other more vulnerable evidence. | Low— High |
| Original driveway— extending south from Oran Park House to Cobbity Road. | Evidence of earlier surfaces (packed earth, gravel, paving, cobblestones) and edging features (markers, drainage ditches) along historic alignment. | Partially disturbed along alignment. | Low— Moderate |
| Second driveway— extending southeast from Oran Park House toward Camden Valley Way intersection. | Evidence of earlier surfaces (packed earth, gravel, paving, cobblestones) and edging features (markers, drainage ditches) along historic alignment, also marked by paired tree planting. | Partially disturbed along alignment, especially south eastern portion near hobby farms. | Low— Moderate |

Casey & Lowe Table 4.1 – Summary of the site's historical archaeological potential⁷²⁷² Extracted from GML 2012: pp.36-37.



Figure 106: (Casey & Lowe: 2017: Figure 4.1) “Overlay showing the site precincts as defined by GML (outlined in white). The Catherine Fields (Part) Precinct site is outlined in red, the Stage 6 Subdivision is outlined in Orange, and the proposed boundary around the homestead is outlined in blue. Base plan from GML 2012, with annotations by C&L.”

Casey & Lowe conclude:

This Archaeological Impact Assessment generally agrees with GML’s assessment of archaeological potential, however, Tropman & Tropman argue that the original c.1830s dwelling house is likely to be the same as the coach house which is still standing to the east of Catherine Park [Oran Park] House. This Impact Assessment agrees with Tropman & Tropman’s interpretation of this structure, and notes that a number of archaeological remains are likely to be concentrated in the vicinity of this building, including those associated with its original use as a domestic dwelling, its later use as a coach house, and possible other uses. A photograph which probably dates to the late 19th Century shows a stables to the north of the coach house, remains of which may survive below the ground (Figure 4.2 [TTA Figure 113]).

A group of demolished sheds to the north of the main house, shown on the 1947 aerial photograph, are unlikely to have archaeological potential (Figure 3.1 [TTA Figure 102]). Items within the sheds suggest they were built in the 1930s or later, and are therefore of little archaeological interest.⁷³

⁷³ Casey & Lowe: 2017: pg.16

3.6.4 Archaeological Results and Recommendations⁷⁴

3.6.4.1 Results

Casey & Lowe have determined the following results:

The site of Catherine Park House, Oran Park, has the potential to contain archaeological evidence relating to its use as a homestead in the 19th and early 20th centuries. This Archaeological Impact Assessment has shown that the study area has the potential to contain the following remains:

- *Evidence of structures such as wells and cisterns around the coach house which would relate to its use as the original dwelling on the property.*
- *Subfloor occupation deposits within the standing house and in the modified coach house which could provide information about the occupants and room use.*
- *Structural remains and subfloor occupation deposits associated with the 19th and early 20th-century outbuildings, including rubbish pits and backfilled wells, cisterns and/or cesspits, and remains of early driveways.*
- *Evidence of early land clearance and cultivation, and structural remains such as sheds and fencing. This is likely to have survived in the areas outside the immediate vicinity of the house.*

Substantive remains associated with the initial use of the property and its nineteenth-century use would share the property's State heritage significance. Reasonably intact later remains are likely to be of local heritage significance.

3.6.4.2 Recommendations

Casey & Lowe have determined the following recommendations:

1. *Works in the Stage 6 area, especially those that affect the coach house and the area around it, should be subject to a S60 approval so that any evidence of the nineteenth-century use of the property can be recorded. This approval should be obtained prior to the commencement of works.*
2. *A program of archaeological monitoring and inspection needs to be undertaken by an appropriately qualified archaeologist for works within the new proposed homestead boundary fence of Catherine Park House and within a c.20m radius of the coach house.*
3. *An archaeologist should remain on call to respond to unexpected finds in the areas outside of the proposed homestead boundary fence and the vicinity of the coach house.*
4. *A report presenting the results of the archaeological program and artefact catalogue will be a condition of consent for an S60 approval and will be prepared at the end of the archaeological program.*
5. *A copy of this report should be sent to the Heritage Division, Office of Environment and Heritage as part of the S60/S57(2) application.*
6. *Any artefacts collected and retained during the works will need to be catalogued and then securely stored by the client after the completion of the archaeological program.*

⁷⁴ Casey & Lowe: 2017: pg.24



Figure 107: Main areas of European archaeological potential outlined in blue. Source: Casey & Lowe.

4.0 ANALYSIS OF DOCUMENTARY AND PHYSICAL EVIDENCE

4.1 Analysis of Documentary Evidence

An analysis of historical mapping shows the evolution of the estates as well as changes in names with change of ownership. An 1834 plan (Figure 109 shows the area of land north of Cobbitty Road (where Oran Park is now located) is still labelled as “Harrington Park” and belonging to William Campbell. This plan also shows George Molle’s grant of “Netherbyres” to the west and another George Molle grant to the north called “Catherine Field” which he named after his wife.

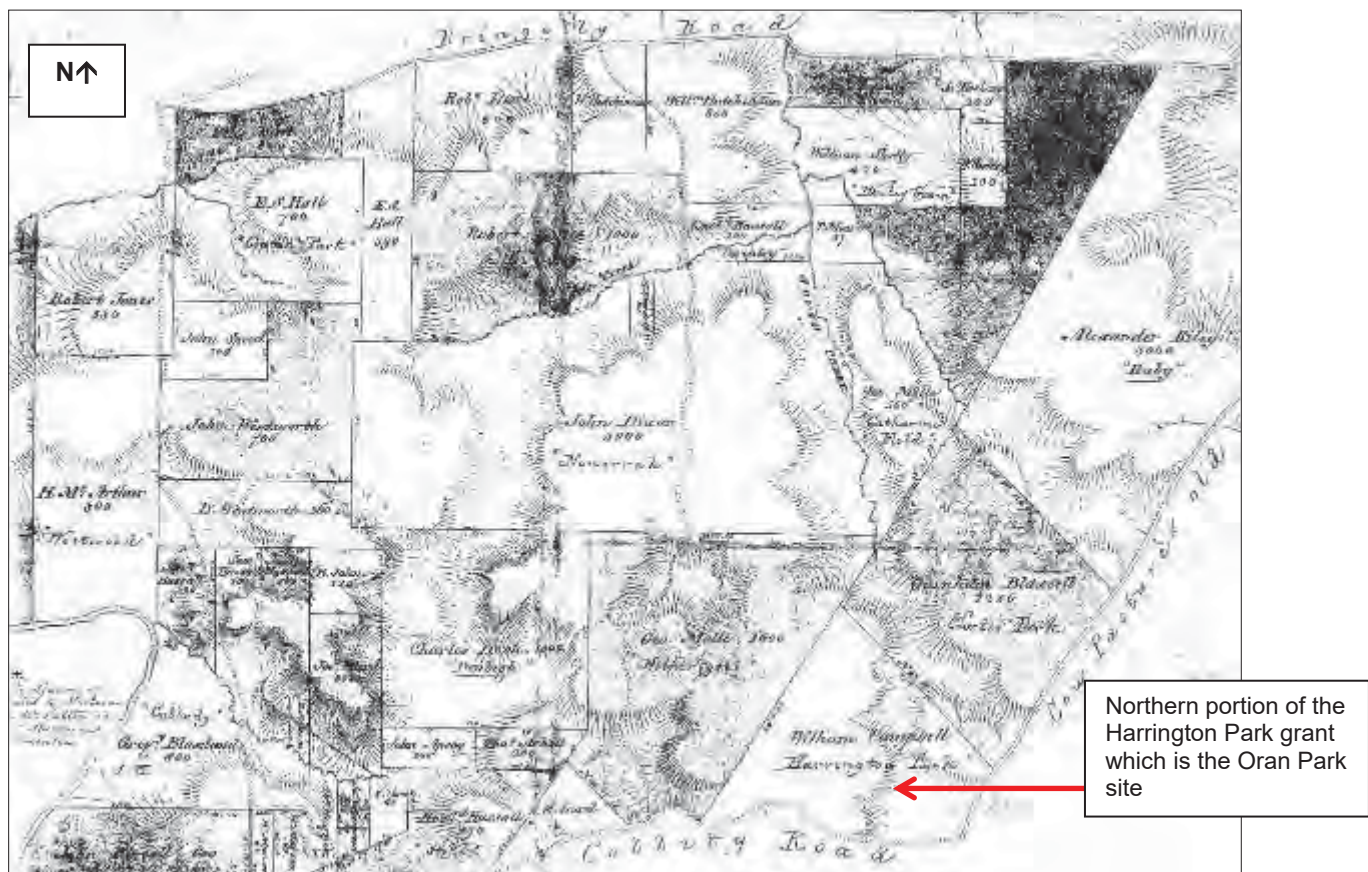


Figure 108: 1834 Parish Map showing the portion of the Harrington Park grant to the north of Cobbitty Road. George Molle’s “Netherbyres” grant is to the west, and his “Catherine Field” grant is to the north adjacent to “Curtis Park”. “Nonorrah”, later called “Maryland” borders the “Netherbyres” and “Catherine Field” properties.

In 1829, the 700-800 acres of Harrington Park north of Cobbitty Road was assigned to John Douglas Campbell, but this was not confirmed until 1839. A plan of the Cobbitty-Narellan area from the Rev A. F. Paine’s Narellan History from the Cobbitty Parish Records 1827-1927 labels the property as “Oran Park”, but this appears to be a much later label of the property. The date of origin of this name is unclear, but it was most likely not until c1852 that the name “Oran” or “Oran Park” was given to the property, as shown on an 1852 Land Title dealing.

An 1840 auction plan (Figure 109) shows the parcel of land north of Cobbitty Road still labelled as “Harrington Park” and belonging to William Campbell, however the name “Harrington Park” is crossed out, and “Oran Park” is written in its place. It is unclear when this was done as it is uncommon for an auction plan to be altered by hand.

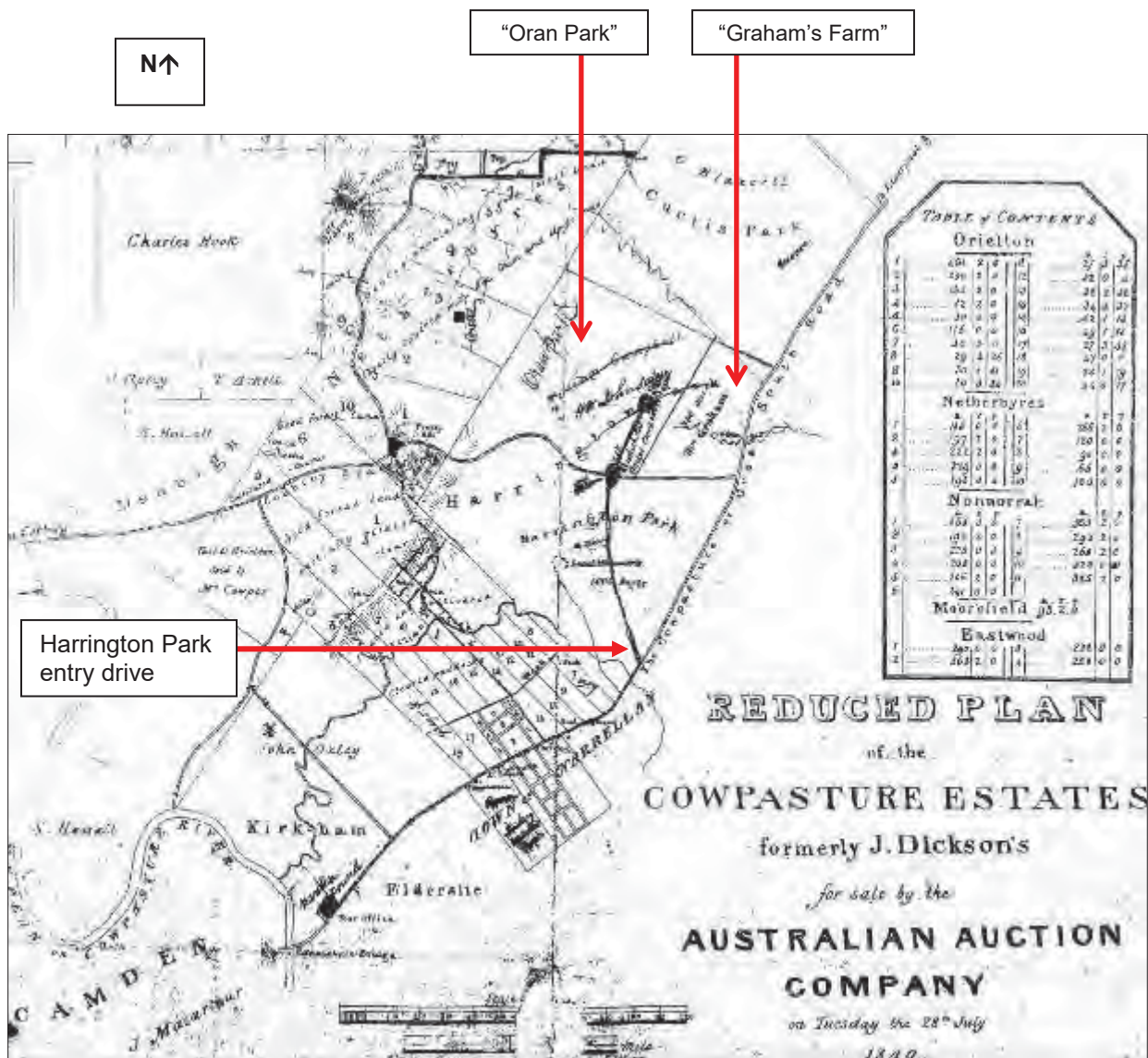


Figure 109: 1840 auction plan showing portion of Harrington Park property north of Cobbitty Road with extensive sketching over – including crossing out of names and inclusion of new names – at a much later date.

Thomas Barker acquired George Molle's "Netherbyres" (also spelt Netherbyers and Netherbyses) and the 700 acre "Oran Park" property in 1867. A plan from this time labels the property as "Oran Park", and it is possible that the name originates from this time. An undated Parish Map (probably c1867) (Figure 106) and a Real Property Act map of 1867 labels the property as "Oran Park" owned by T. Barker, granted to William Campbell. At this time the name of "Oran Park" refers to only part of Campbell's grant north of Cobbitty Road.

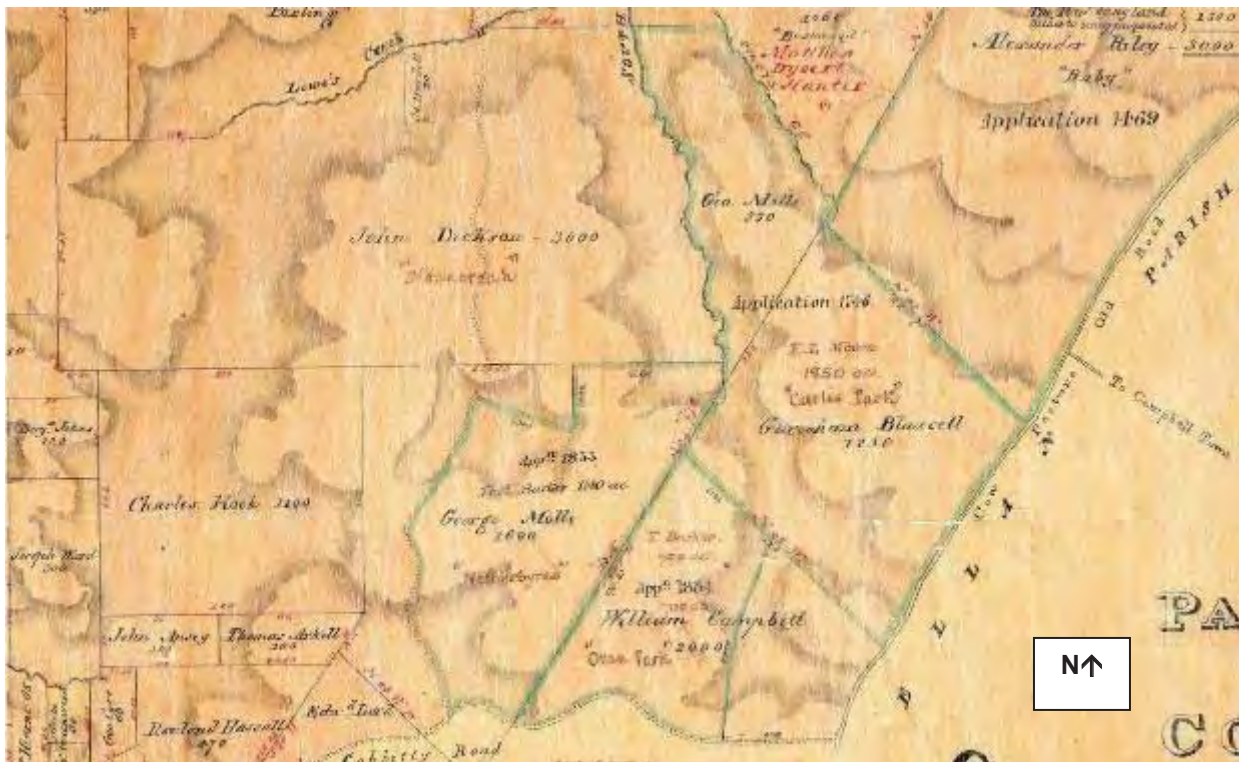


Figure 110: Parish Map, undated, but probably c1867 showing Thomas Barker as owner of "Oran Park" and Netherbyres. It is noted that "Oran Park" is only a portion of the Campbell "Harrington Park" grant north of Cobbitty Road.

The estate known today as "Oran Park" was amalgamated with the neighbouring properties of "Netherbyres" and "Graham's Farm" (also formerly part of the original Harrington Park grant) and subdivided from them a number of times from the 1870s. "Netherbyres" could relate to the house of the same name in Scotland.

John Dickson's property "Nonorrah" to the north was subdivided with the land to the east of The Northern Road remaining as "Nonorrah" and that to the west of The Northern Road becoming "Maryland" (owned by Thomas Barker). This is another example in the area of the name of a property changing with a change in ownership.

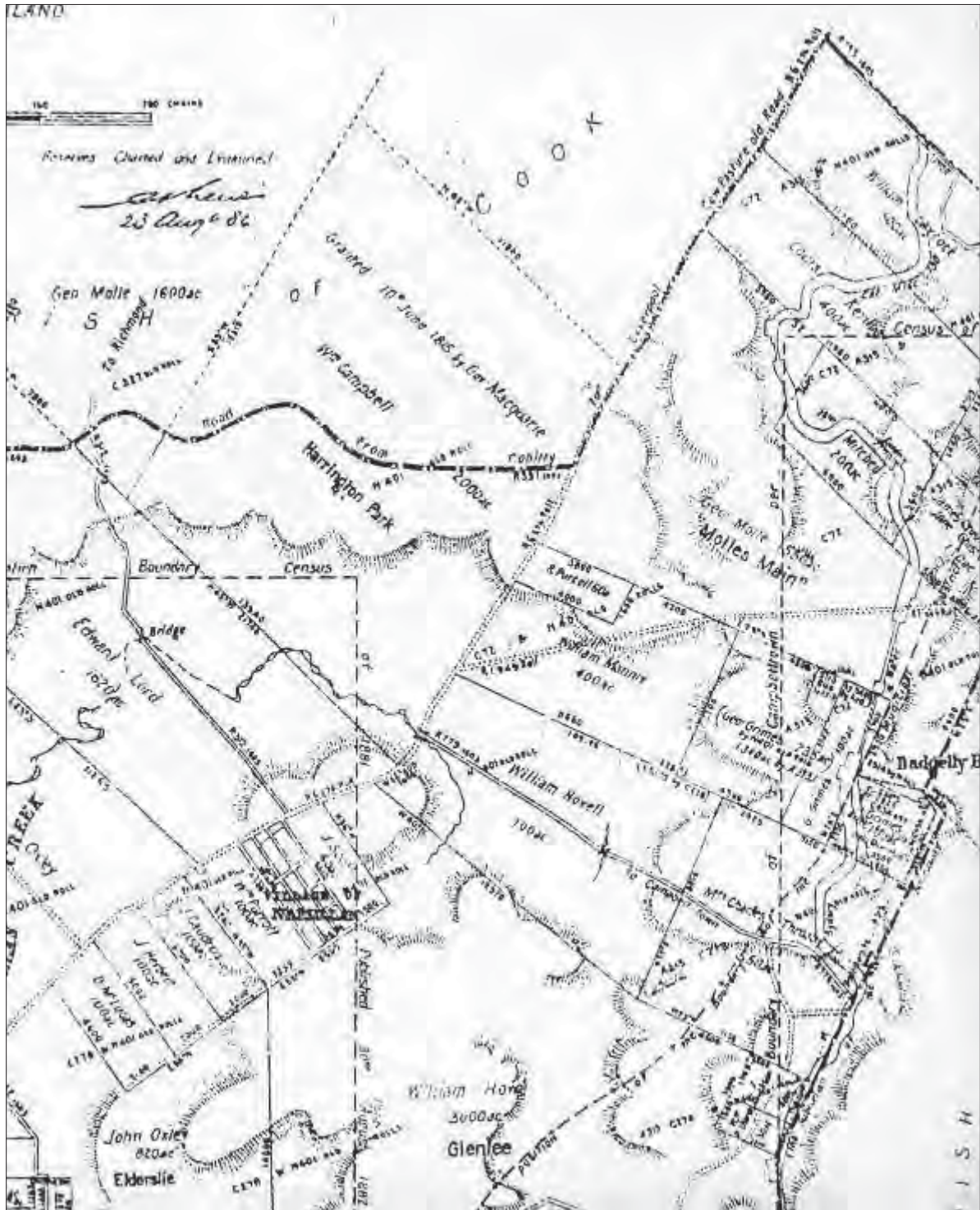


Figure 111: 1884 map showing the full extent of the Harrington Park grant.





Figure 112: Survey by Edward Knapp, August 1867. Text reads "Oran Park now Tho^s Barker". This plan also shows the location of "Oran Park House".

It is suggested that the Coach House is the original residence of the Oran Park property constructed in c1837 as described in the Land Titles documents and property dealings. It was customary when establishing these estates that a small cottage style building was constructed for the inhabitants to live in until the main house was built. This has occurred at a number of similar properties in the area including Harrington Park and Gledswood for example. In the case of Oran Park, the documentary and physical evidence strongly points to the original cottage being what is now referred to as the Coach House.

An early image of the Coach House taken some time during the Moore period shows the building. It is much more the design of a cottage than a coach house. We believe the coach house use came much later, after the house at its current location was built around c1865. Siting of the house would have also been crucial in c1837. The siting of what is now known as the Coach House was close to the property's water supply of South Creek.



Figure 113: Original Homestead Coach House looking east during the Moore Period (1871-1938) showing the two storey structure of the coach house and single storey stables on the northern elevation. Moore Family Archives.

The 1867 survey of the Oran Park property shows the location of "Oran Park House". When compared to a current aerial photograph of the site, it shows that this is the siting of the current house. Refer to Figures 117, 118 and 119. The style of the house as originally built is Italianate boom style. The belvedere was located to the rear of the house allowing the occupants to look to the north over their lands.



Figure 114: Oran Park House c1881 after Edward Lomas Moore purchased the property. Source: Early Photograph Album, Moore Family Archives as located in the GML CMP. Note trees appear to be at least 10 years old.



Figure 115: Oran Park House in 1936 by June Higgs, niece of Essington Moore. Source: Moore Family Archives as located in the GML CMP.



Figure 116: Oran Park House c1938. Source: Moore Family Archives as located in the GML CMP.

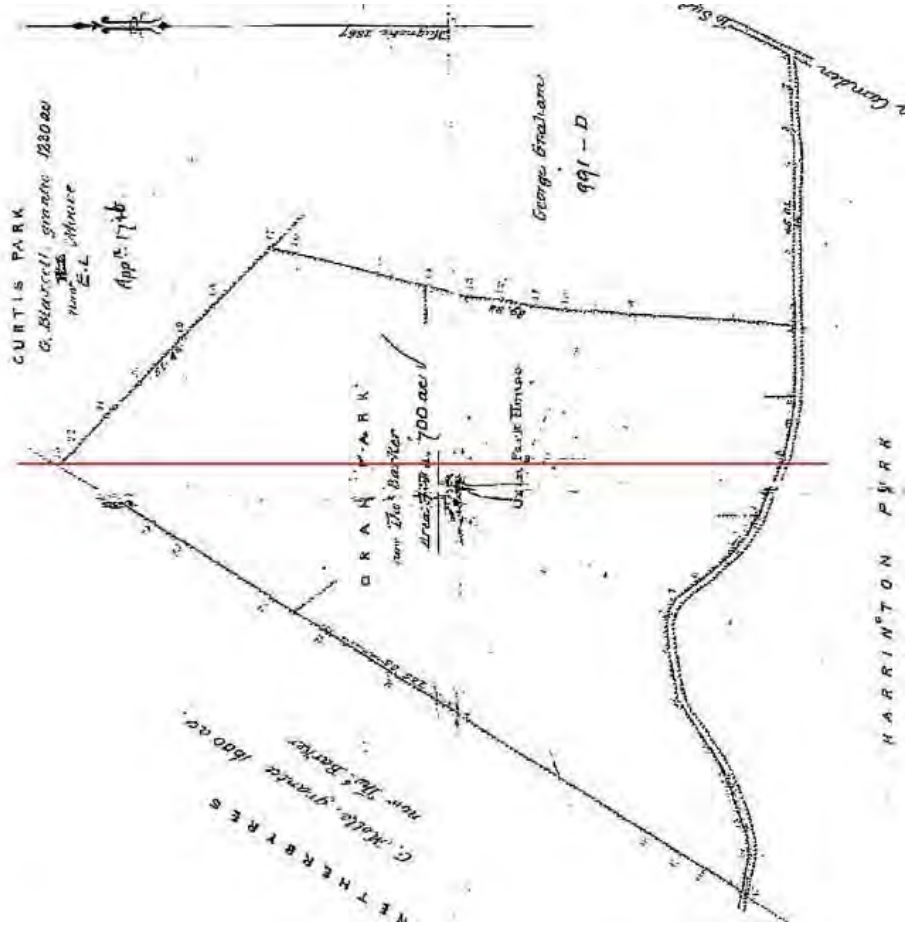


Figure 117: 1867 survey of the "Oran Park" property showing the location of "Oran Park House". When dropping a line vertically from the north corner of the grant south down to Oran Park Drive, the line passes right next to the building labelled "Oran Park House".

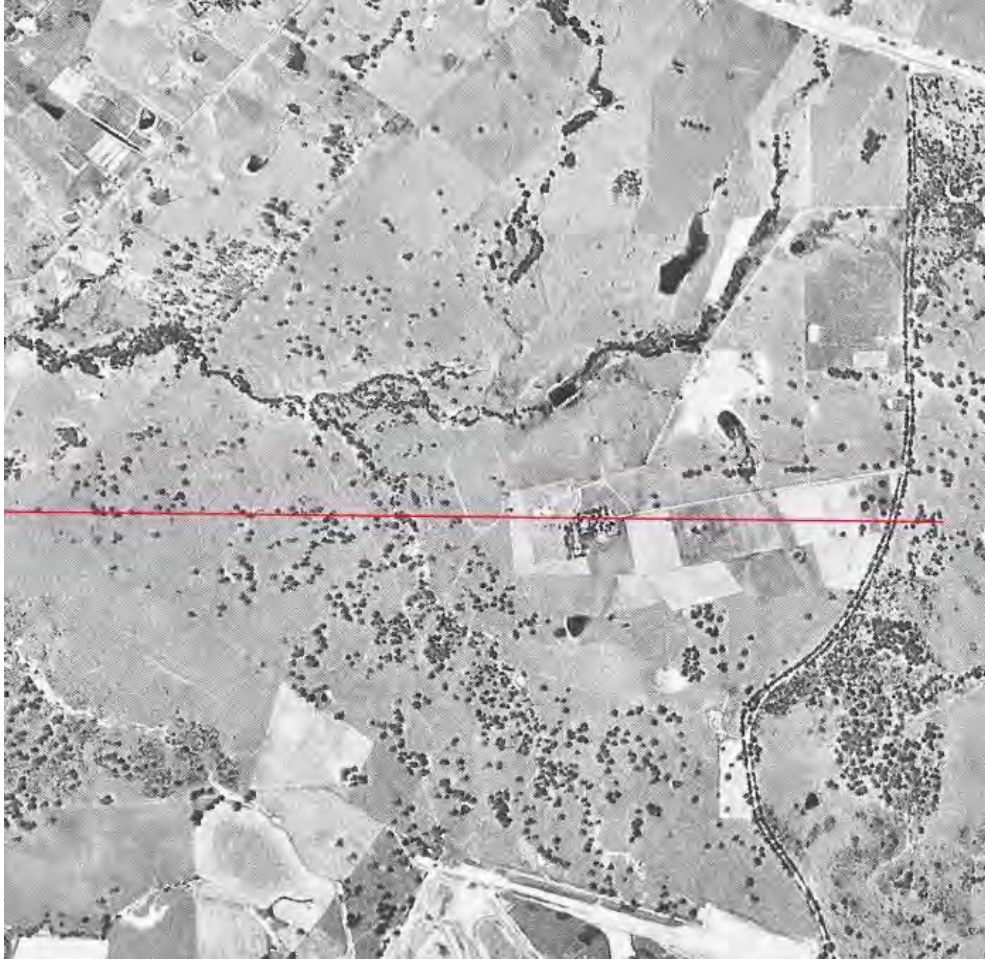


Figure 118: 1975 aerial photograph (related to magnetic north to match the 1867 survey) of the property showing the line dropped from the north corner of the grant down to Oran Park Drive. Again, the line passes adjacent to Oran Park House as shown in the 1867 survey.



Figure 119: Current aerial photograph of the Oran Park property overlaid with the 1867 survey showing that the location of Oran Park House as depicted on the survey is the location of the house as it stands today. The north-east and north-west grant lines are still clearly visible in the landscape.



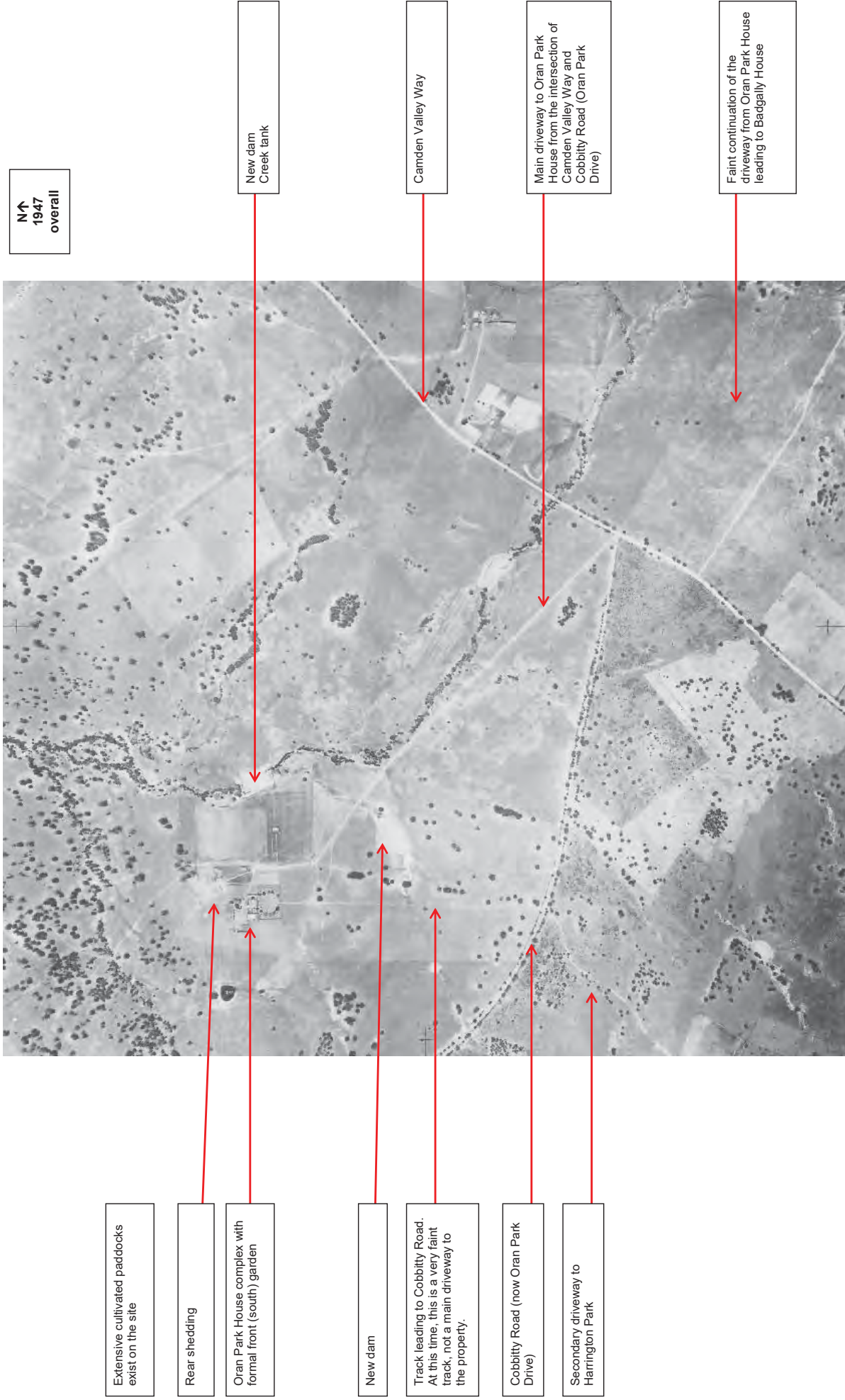
Aerial photographs from 1947 to 2011 show the evolving landscape of the Oran Park Estate. These aerial photographs give a clear indication of what was happening on and around the Oran Park property.

The following series of photographs have been focused on the Oran Park property. The features and changes to the landscaping of the site have been annotated to show the uses of the landscape immediately surrounding Oran Park House, and the changes in the use of these areas as well as the change in the building fabric of the estate over time.

Of particular interest are the driveways to the property. It would appear that from a very early period, the dominant driveway is that leading from the intersection of Camden Valley Way and Oran Park Drive (then Cobbitty Road) leading diagonally up to the house. The straight track from Oran Park Drive (Cobbitty Road) up to the house is only a faint track in the 1947 aerial so it is safe to assume that the other drive has been the main drive for a substantial period of time – quite possibly since the Moore period as they were travelling between Oran Park House and Badgally House. Although this driveway does travel partly through “Graham’s Farm”, there appears to never have been any structures on this property, and it is possible that there was some sort of agreement between the owners of the two properties for this driveway access.

The aerials from 1947 to 1966 show this diagonal drive as the dominant, main entry to the house with the straight drive just a track in the paddock. The aerials from 1966 to 1990 show that both driveways are equally traversed, and also show the slight deviation of the initial section of the diagonal drive following the 5 acre allotments subdivisions. Sometime between 1990 and 1994, the use of diagonal drive was discontinued and the existing straight track became the main entry to the house as it is today, probably to more conveniently access the Oran Park Raceway.

The southern straight track driveway was an extension of the garden design into the landscape. The element is a device to link the house setting with its context. The Villa house was built after Camden was established and so faced towards St John’s Spire and the Razorback Mountains. It is suggested the Coach House was the first residence on site. Refer to discussion accompanying Figures 140-144.



N
 1947
 overall

Extensive cultivated paddocks exist on the site

Rear shedding

Oran Park House complex with formal front (south) garden

New dam

Track leading to Cobbitty Road. At this time, this is a very faint track, not a main driveway to the property.

Cobbitty Road (now Oran Park Drive)

Secondary driveway to Harrington Park

New dam Creek tank

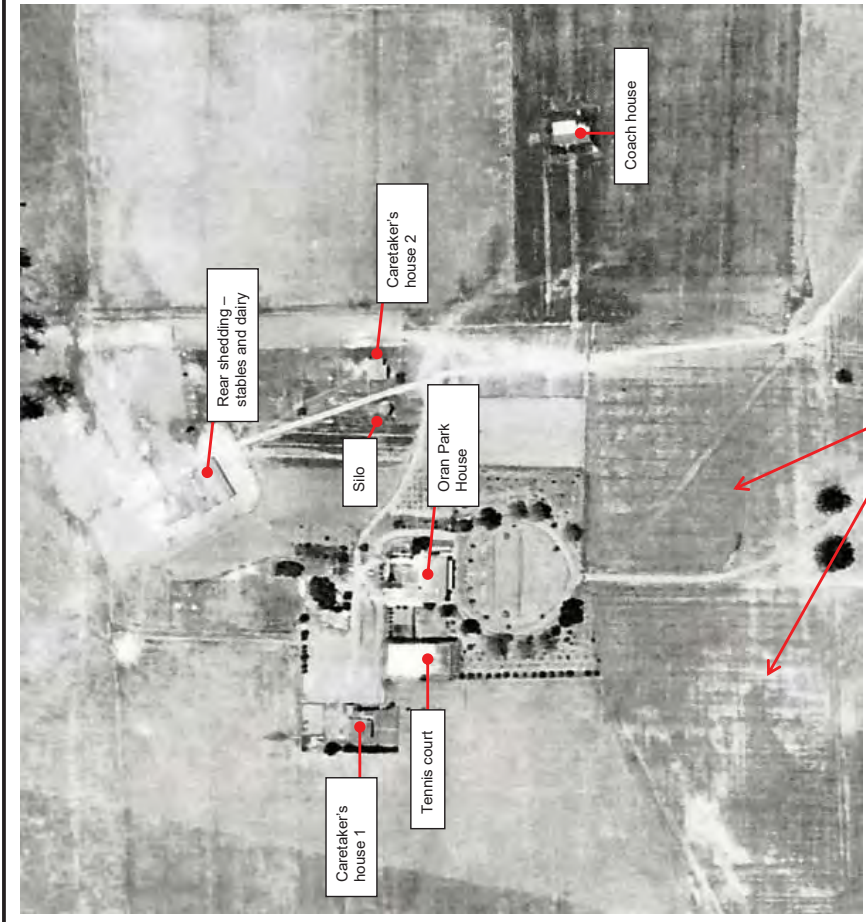
Camden Valley Way

Main driveway to Oran Park House from the intersection of Camden Valley Way and Cobbitty Road (Oran Park Drive)

Faint continuation of the driveway from Oran Park House leading to Badgally House

Figure 120: 1947 aerial overall. Land and Property Information.

North
 1947
 detail



Extensive cultivated paddocks exist on the site

Line of trees, fence line and track leading to Coach House

Figures 121 & 122: Detail of the 1947 aerial. This detail view shows deviations to the driveways closer to the house leading to the front of the house and to the rear shedding complex. It also shows some pasture improvements and faint tracks through the property. Land and Property Information.

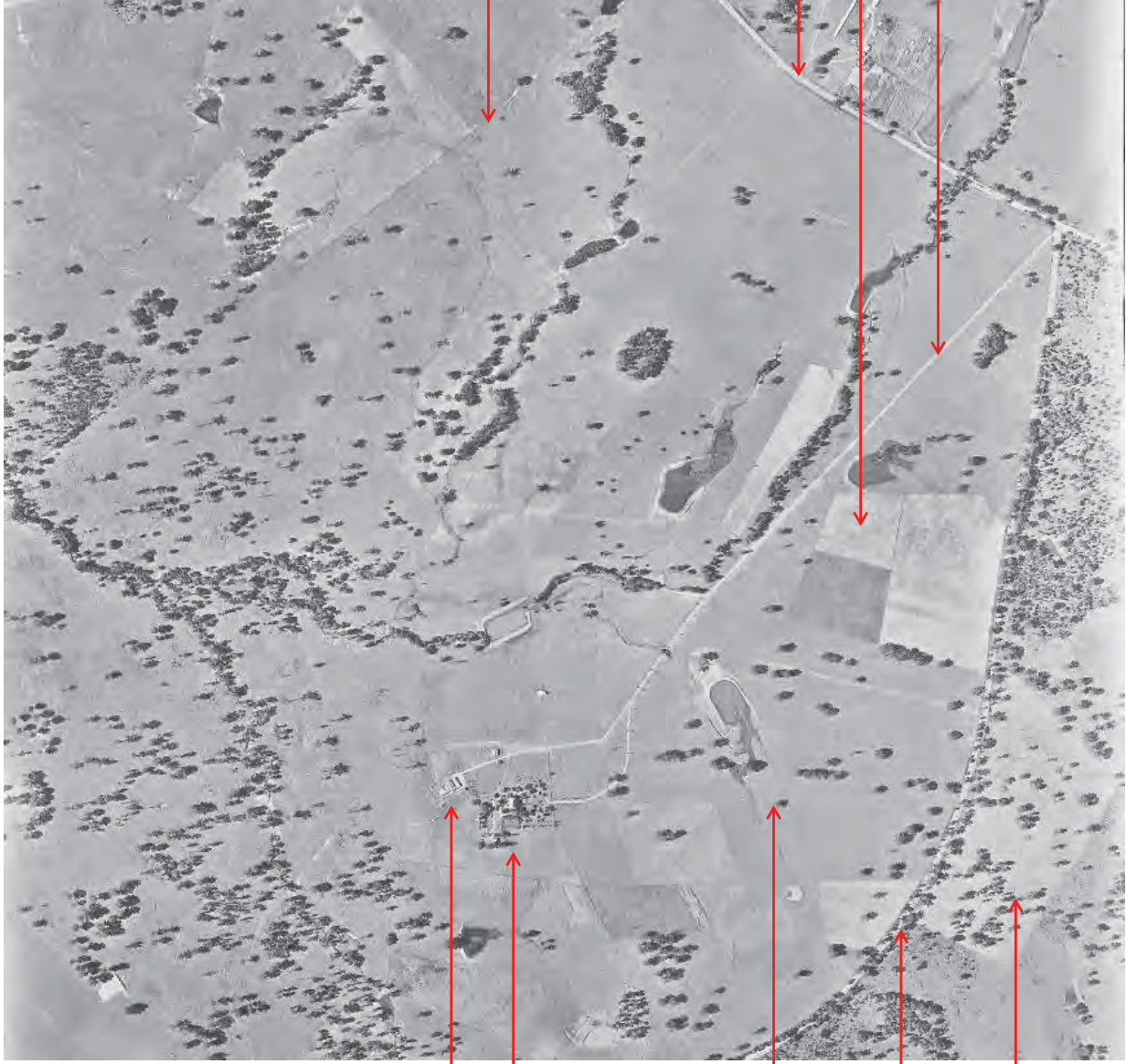


Figure 123: 1956 aerial overall view. Land and Property Information.



Figure 124: Detail of 1956 aerial showing improvements in landscaping to the property. Land and Property Information.

N
 1961
 overall



Rear shedding

Oran Park House complex with formal front (south) garden

The straight driveway obviously has not been used for a number of years and is barely even visible.

Cobbitty Road (now Oran Park Drive)

Secondary driveway to Harrington Park is no longer used and is barely discernable

Early grant line to original Harrington Park grant

Camden Valley Way

Cultivated fields

Main driveway to Oran Park House from the intersection of Camden Valley Way and Cobbitty Road (Oran Park Drive)

Figure 125: 1961 aerial, overall view. Land and Property Information.

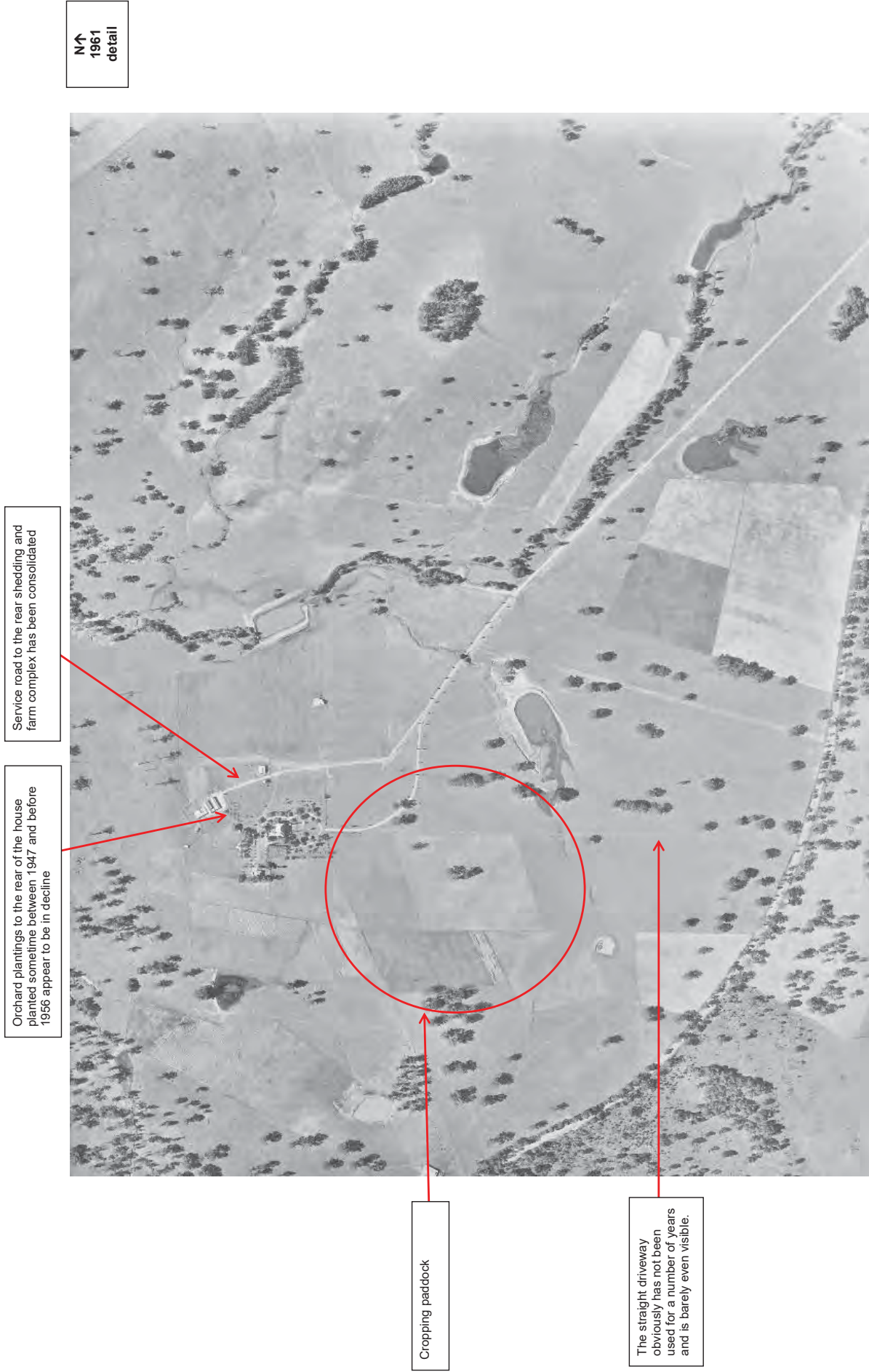
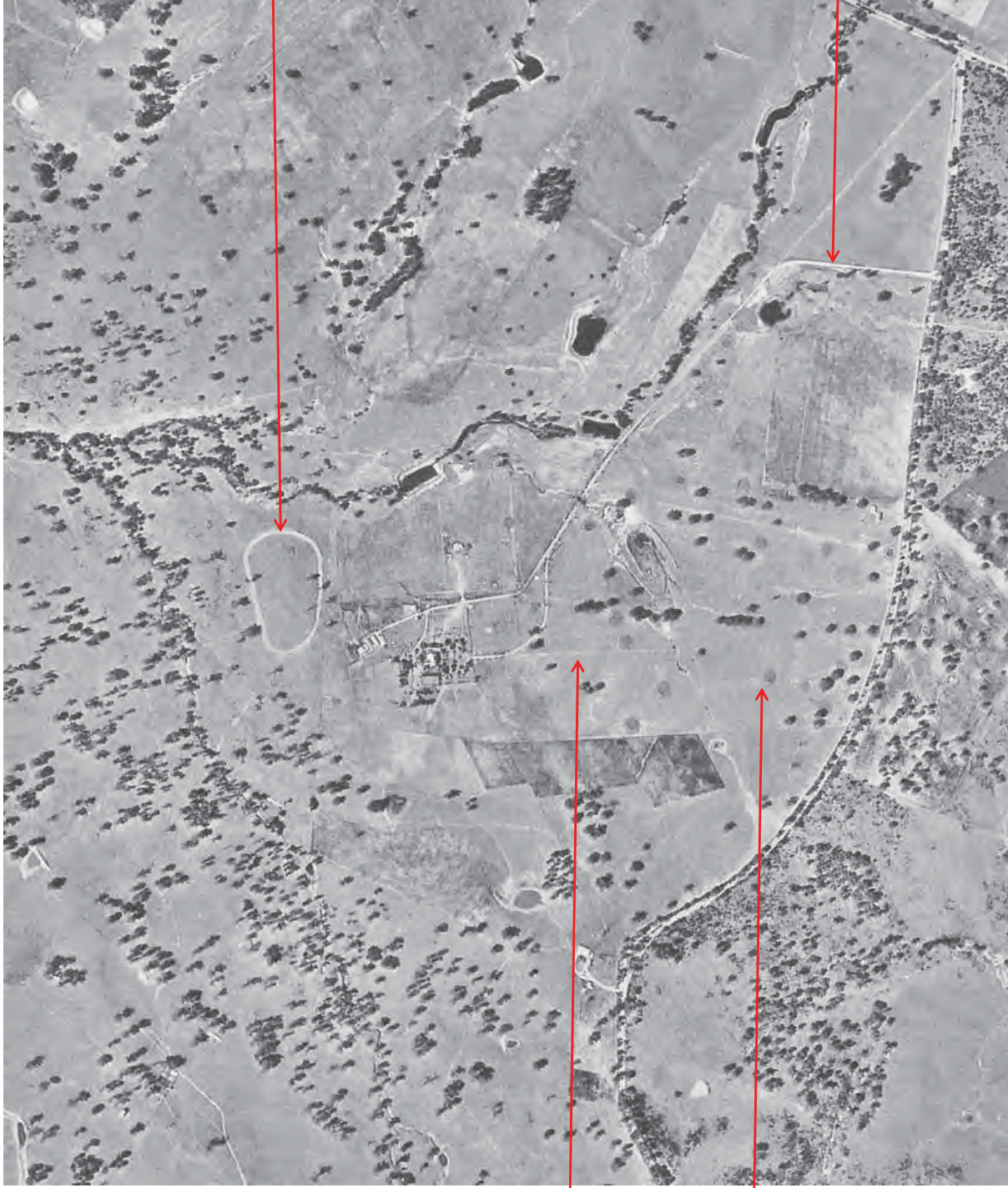


Figure 126: 1961 aerial detail. Land and Property Information.

North
1965
overall



Newly constructed trotting ring

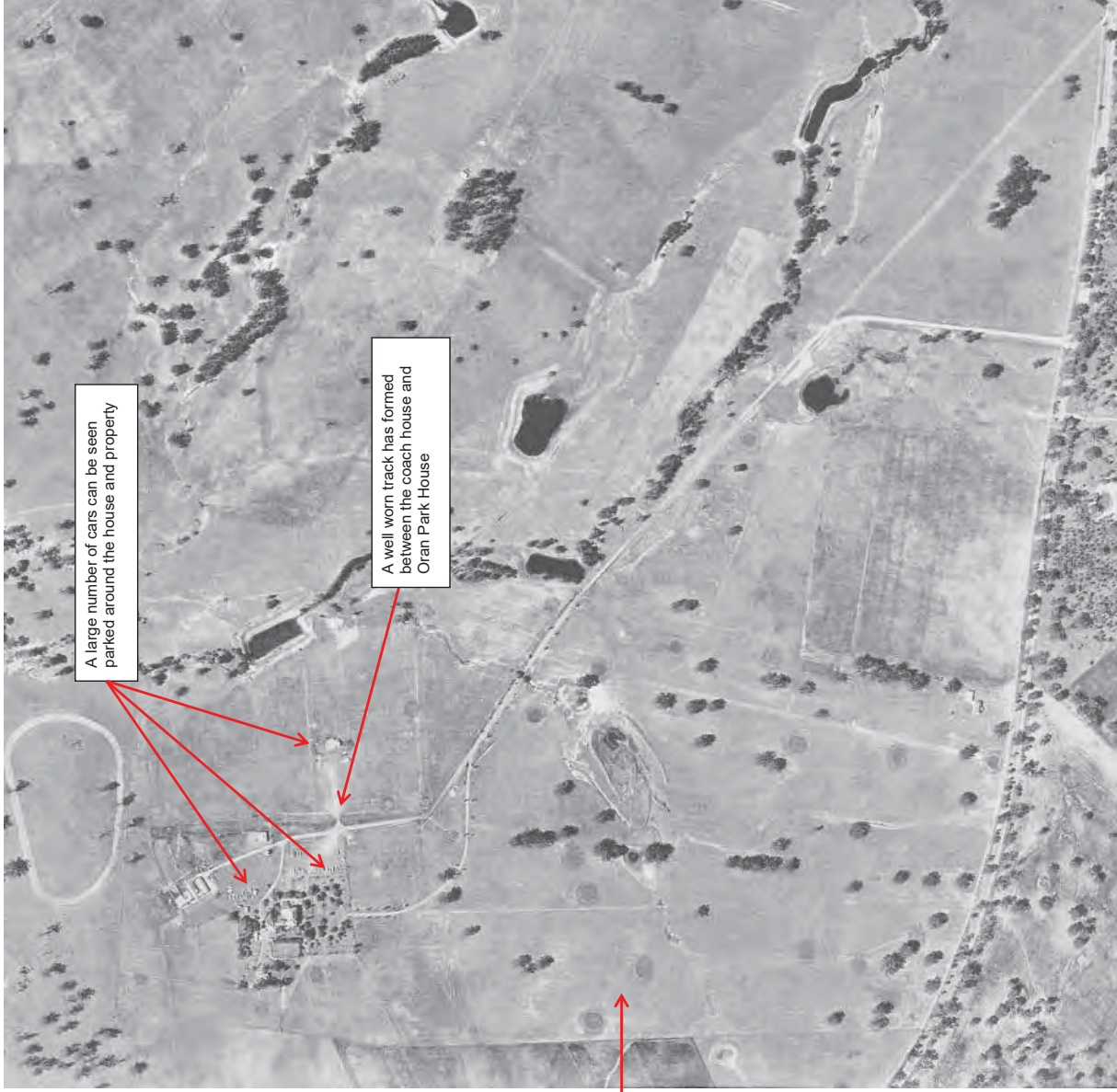
Secondary straight driveway to Harrington Park is no longer used and is barely discernible. Below the creek level here, it is no longer visible.

New golf greens can be seen scattered over the lower portion of the site.

Relocated entry point for the main driveway to Oran Park House following the subdivision in 1963 of 5 acre allotments along the Camden Valley Way and Cobbitty Road. This seems to be a fairly recent change as the original portion of the driveway is still very evident.

Figure 127: 1965 aerial overall view. Land and Property information.

N
1965
detail



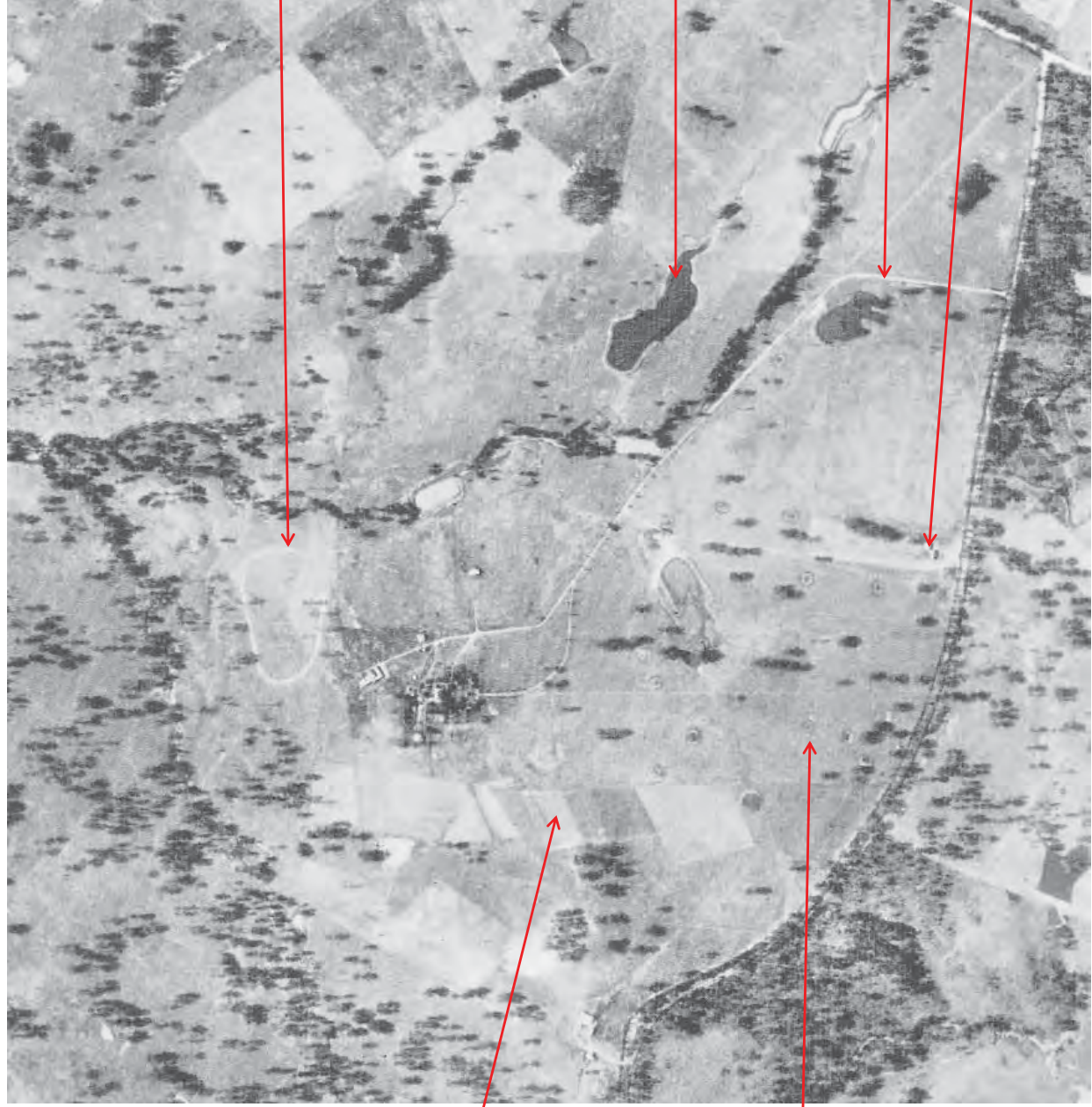
A large number of cars can be seen parked around the house and property

A well worn track has formed between the coach house and Oran Park House

Golf course fairways and greens

Figure 128: 1965, detail aerial. Land and Property Information.

N
1969
detail



Trotting ring is still evident

Dam has been enlarged.

Relocated entry point (some point after 1961 and before 1965) for the main driveway to Oran Park House. The original portion of the driveway is still very evident and possibly still in use.

Occupation of one of the 5 acre allotments

Cultivation of paddocks adjacent to the edge of the golf course continues

Golf greens are still visible scattered over the lower portion of the site.

Figure 129: 1969 aerial detail. Land and Property Information.

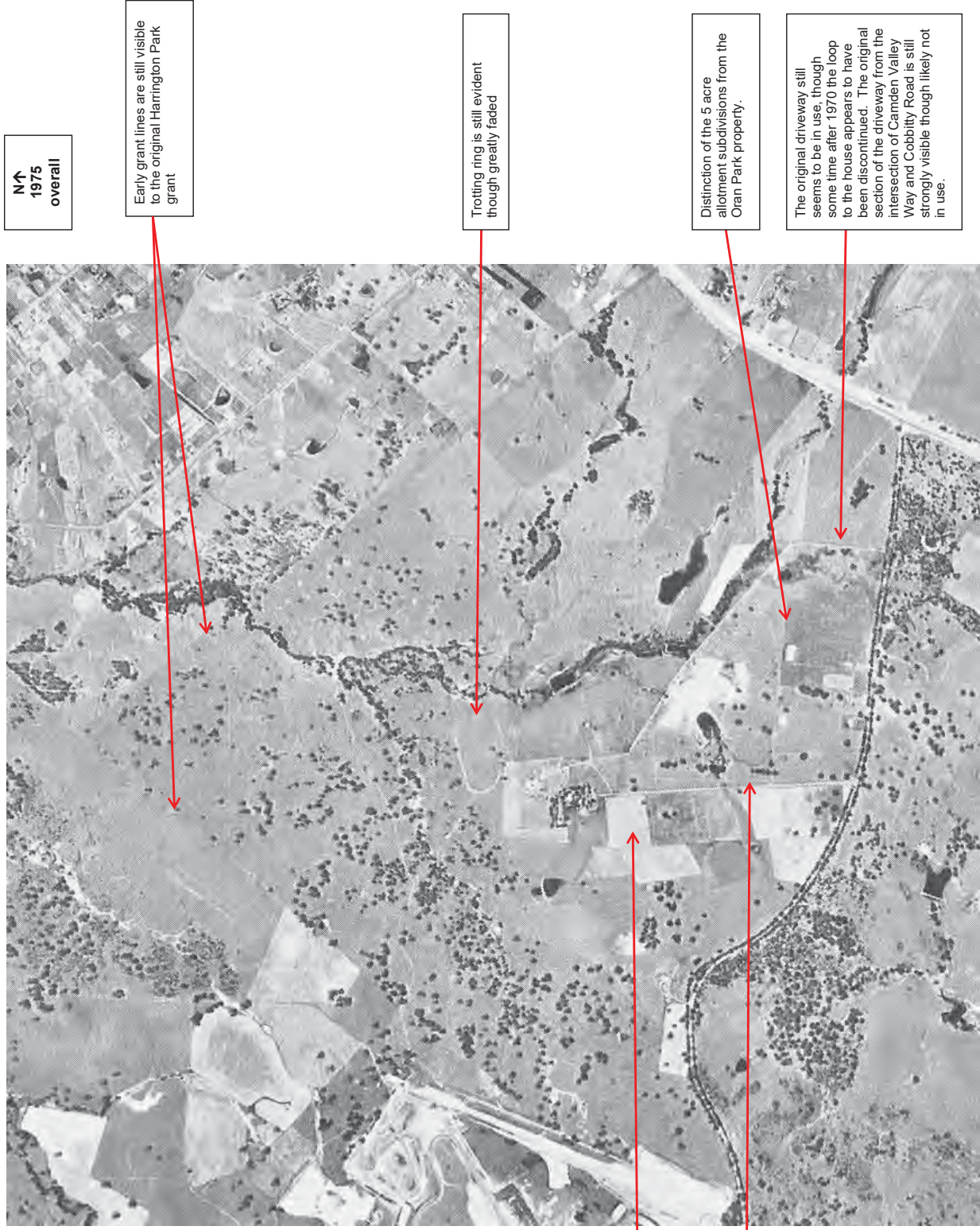


Figure 130: 1975 aerial. No evidence of golf course remains. Land and Property Information.



Figure 131: 1975 detail aerial. Land and Property Information.



N
↑
1984
overall

Trotting ring is barely discernible and obviously has not been in use for many years

New shed extension

Avenue of trees denote the path of the former driveway leading to the house

Further occupation and development of the 5 acre allotments with new housing and dams

The original driveway still seems to be in heavy use. The location of the original section of the driveway from the intersection of Camden Valley Way and Cobbitty Road can still be made out but it is no longer visible.

The straight drive between the house and Cobbitty Road (Oran Park Drive) appears to be in heavy use.

Figure 132: 1984 aerial. Land and Property Information.

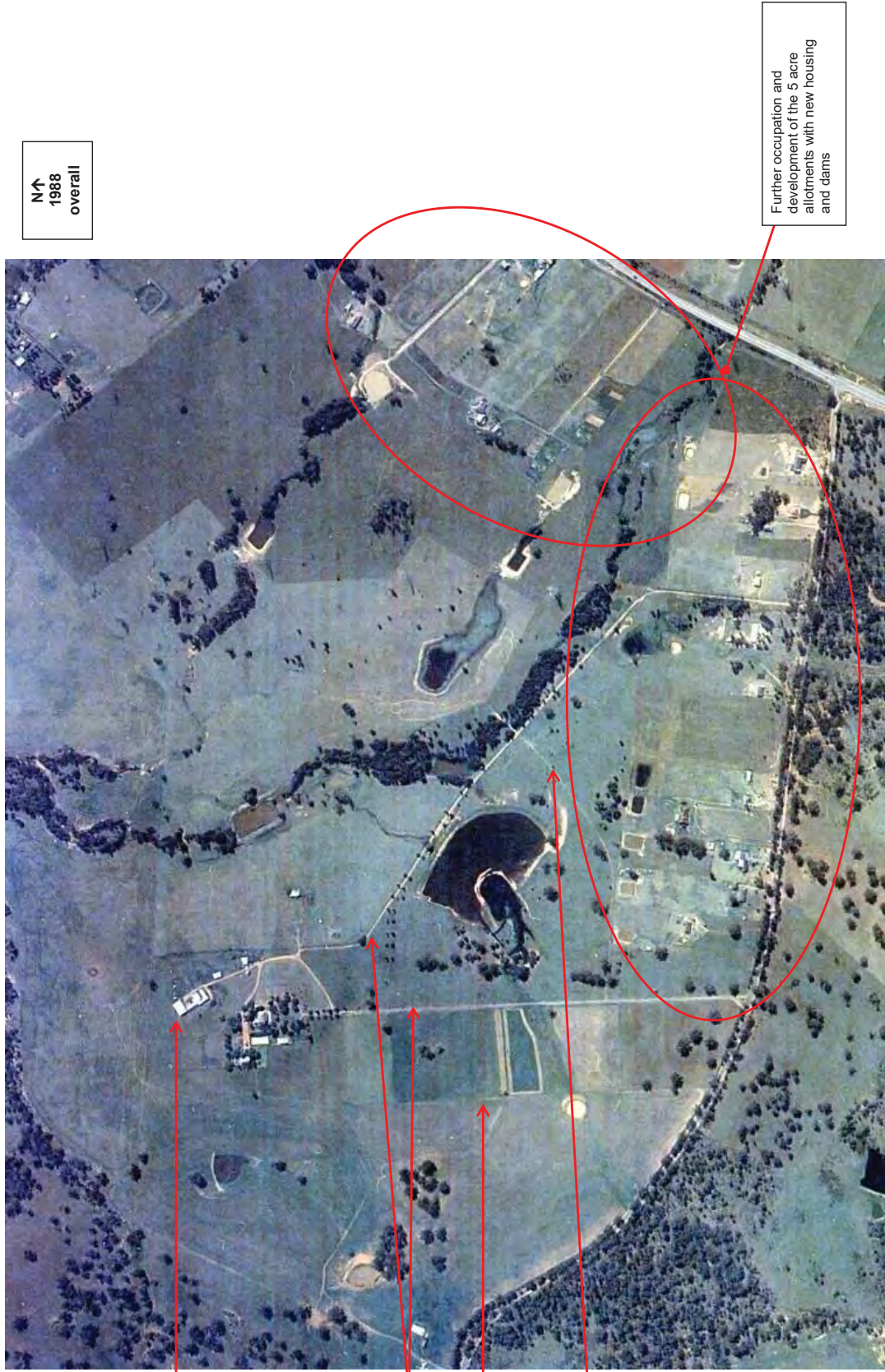


Figure 133: 1988 aerial. Land and Property Information.

NA
1990
overall



Although the original diagonal driveway appears to still be in use, the straight drive between the house and Cobbitty Road (Oran Park Drive) appears to have become the dominant access point to the house.

Fields under cultivation to the west of the straight driveway

New plantings along the length of the eastern side of the straight driveway

Further occupation and development of the 5 acre allotments with new housing and dams

Figure 134: 1990 aerial. Land and Property information.

N
↑
1994
overall



The straight drive between the house and Cobbitty Road (Oran Park Drive) appears to have become the only access point to the house.

Fields under cultivation to the west of the straight driveway

The original driveway is still discernable though it appears to no longer be in use.

Further occupation and development of the 5 acre allotments with new housing and dams

Figure 135: 1994 aerial. Land and Property Information.

N
2002
overall



The straight drive between the house and Cobbitty Road (Oran Park Drive) is the only access point to the house.

Fields under cultivation to the west of the straight driveway

The original driveway is still discernable though obviously no longer in regular use.

Further occupation and development of the 5 acre allotments with new housing and dams

Figure 136: 2002 aerial. Land and Property Information.

North
2012
overall



Figure 137: 2011 aerial. Google maps.

4.2 Analysis of Physical Evidence

Some physical evidence of the subject site is easily able to be correlated to and compared with the documentary evidence of the site. The most clearly discernible analysis is below.

The avenue of trees planted in the late 1940s to the early 1950s along the former original driveway leading from the corner of Camden Valley Way and Oran Park Drive up to the carriage loop still exists in part on the site. Refer to Figures 138 and 139 below.



Figure 138: Avenue of trees in the south-east paddock that formerly lined the original driveway from Camden Valley Way & Oran Park Drive (formerly Cobbitty Road) leading up to the carriage loop in front of the house. TTA 2013



Figure 139: 2011 aerial of the subject site showing the avenue of trees still existing along the path of the original driveway. Refer to aerial figures in section 4.1 for further detail. Google maps.

Avenue of trees along original driveway still exist on site today

Physical and documentary evidence has also confirmed that the Coach House is only partly original and has been substantially modified with the second storey section pulled down. Originally a two-storey structure with a single storey stable on the northern side, the Coach House is now single storey with reworked openings. Part of the west wall, and the south wall, are the only remaining original fabric of the Coach House which we suggest was the first residence/house.



Figure 140: Coach House looking east during the Moore Period (1871-1938) showing the two storey structure of the coach house and single storey stables on the northern elevation. Moore Family Archives.

Dawson-Damer removed this section of the Coach House and reworked the building to how it looks today



Figure 141: Coach House in 1992 showing the building was altered to a single storey structure with large openings and the stables are no longer extant. Belle – Design & Decoration, June/July 1992, pg.44.



Figure 142: The Coach House as it stands today. TTA 2013



Figure 143: This images shows the original section on the west elevation of the coach house. Other openings have been reworked and the north end of the building demolished. TTA 2013



Figure 144: Original south wall of the coach house. It is suggested this is the original house c1837. TTA 2013

4.3 Comparative Analysis

4.3.1 Landed Estates

The year 1815 was a significant one. For Britain, it marked the end of the great French War. Britain could now concentrate on expanding her Empire in the long peace which followed. For the first time since 1793, convict transportation could assume large proportions. From 1815 large numbers of convicts arrived and a regular system soon developed, based on the assignment of orderly prisoners to private landholders. A large labour force was becoming available.

Peace also promoted landed settlement. It helped in the expansion of the Sydney settlement over the Blue Mountains and also, after 1820, into the Hunter Valley. It stimulated local officials and merchants to seek large land grants in new areas. Camden was such an area, ready for estate settlement, from 1815.

From this time, grants of considerable size were made to new colonists on the east side of the Nepean. They were often of the customary 2,000 acres or less. To most grantees, they were additional income earners to the owner's salaries or commercial profits. They never approached the greatness of the Macarthur holdings, but they were important in Camden's growth.

The estates were a conglomerate of gentlemen's country residences and working units. With their fine colonial homesteads, they satisfied their owner's requirements for English gentry status. Their outbuildings promoted production and formed quasi-village structures, again on the English model. In the early days, they made formal villages unnecessary.

The estate has been used as a pastoral station and country house since this time, despite the contraction and expansion of the site. Today, Oran Park is one of the few remaining homesteads in the Camden Local Government area. Other comparable homestead groups can be found at Gledswood, Orierton, Denbigh, Harrington Park, Maryland, Raby, Belgenny Farm and Studley Park.

Similarities to Oran Park

The following properties shown in the comparative analysis have a number of similarities with Oran Park including:

- Large early land grants
- Long periods of time being held and run by the same family
- Early homestead and supporting residential structures as well as farm complex buildings are largely still extant and easily discernible
- Established gardens and cultural plantings in a discernible area around the homestead with the working farm beyond
- Use of the estates have included various pastoral pursuits including cattle raising, dairying, cropping and some vineyards
- Homesteads are carefully sited to both see and be seen –
 - sited to have expansive views over their estates with ancillary structures located behind the homesteads and farm structures having separation from the residential use buildings
 - sited to face other established homesteads in the area
 - sited in the cultural landscape to be seen from a distance and to be viewed at specific points in the arrival sequence to the properties
- natural and built water supplies
- retained curtilage to protect the significance of the properties in recent/current/future residential subdivision

Further details can be found in the Heritage Inventory Sheets on the properties.

4.3.1.1 *Gledswood, Camden Valley Way, Catherine Field*

The Gledswood estate was an amalgamation of several of the earliest land grants in the Cumberland Basin. The working farm, initially called Buckingham, was started on the land granted to Count Huon de Kerilleau in 1810, with later parcels added by the Chisholms who renamed the estate Gledswood.

Gledswood, whilst a gentleman's estate, was used as a working farm and was one of the largest in the area.

Gledswood was T.C. Barker's wife's family home.

Level of Significance: State



Figure 145: Gledswood Homestead.

4.3.1.2 *Orielton, The Northern Road, Narellan*

The Orielton Homestead was built on land granted to Lt Edward Lord in 1815. It has had many owners including John Perry who grew wheat and operated a flour mill. During World War II it was occupied by the RAAF attached to Camden Aerodrome. Was owned by Fairfax. Now surrounded by heritage curtilage zone and residential subdivision.

Level of Significance: State



Figure 146: Orielton Homestead.

4.3.1.3 *Denbigh, The Northern Road, Cobbitty*

Denbigh was built in 1822 by Charles Hook, a business associate of Robert Campbell and was later purchased by the Reverend Thomas Hassell in 1826 (who also established the first Protestant church services in Kirkham stables that same year). Denbigh can be seen from the north ridge of Orielton. The working farm includes a colonial vernacular homestead and associated farm buildings.

Level of Significance: State



Figure 147: Denbigh Homestead.

4.3.1.4 *Harrington Homestead, Harrington Park, Narellan*

Harrington Park was one of several of the earliest land grants in the Cumberland Basin. The 2,000 acre parcel of land was granted to Captain William Douglas Campbell in 1815. Campbell named his estate Harrington Park after his brig, the Harrington. This homestead is thus one of the earliest homesteads in the Cumberland Basin. Was owned by Fairfax. Now surrounded by heritage curtilage zone and residential subdivision.



Level of Significance: State

Figure 148: Harrington Homestead.

4.3.1.5 *Raby, Camden Valley Way, Leppington*

Raby was granted to Alexander Riley in 1812 and was named after his mother's maiden name. Riley moved to England in 1822 and the property was managed by his brother Edward Riley. Of that land, wheat, barley, maize, oats, peas and potatoes were grown and the property held livestock including horses, cattle, sheep and hogs. After Alexander and Edward gave up their direct management, their sons developed and nurtured the prized Saxon Merino sheep on the land. The property was later purchased by the Moore family in 1866 and later transferred to the Mitchell's where agricultural farming and grazing of livestock continued.



Figure 149: Raby Homestead.

Level of Significance: State

4.3.1.6 *Belgenny Farm, Camden Park Estate*

Part of the 1810 grant to Macarthur, the Belgenny Farm Group is located to the north of the main drive linking Camden and Camden Park mansion. Its setting is a north south ridge, with an outlook eastwards to the Nepean River and south-westwards to the Ridgeback Range. The stables, community hall, creamery and Belgenny Cottage are grouped around a large courtyard centred on a plane tree and an historical bell. This courtyard and its northern and western buildings formed part of the original 1820s layout. Belgenny Farm Group is thought to be the oldest surviving group of farm buildings in Australia. Belgenny Cottage is a low set weatherboard cottage featuring corrugated iron roof and incorporating some brick hog walls, it was built in several stages, the earliest attributed to Henry Kitchen in 1820. This is the house in which John Macarthur died in 1834.



Figure 150: Belgenny Farm Cottage.

Level of Significance: State

4.4 Oran Park House Historic Uses

Oran Park House has been important for its uses. These include:

- Residential occupation
- A significant visual element in the landscape
- A focus for the various periods of landscape treatment – gardens, terraces, golf course
- Outstation residence for Moore Family
- Symbolism of gentrification
- A significant rural holding for long periods of time, with pastoral and agricultural uses including elements such as dairying, grazing, agistment, cropping, stock, yards, buildings, drives, paddocks etc
- Golf Club House
 - Green Fees Office
 - Players' Amenities
 - Administration Offices for Golf Club
- Family Accommodation
- Rural Retreat Estate in the Dawson-Damer period
- Entertainment for Guests – lunches and dinners
- Current use as Oran Park Estate Land Sales and Offices

Past use of the estate as a whole was largely for varied agricultural pursuits and farming.

Past use of the land created the open, sparsely forested, agricultural lands through:

- timber getting for construction, fencing and fuel
- pastures for livestock
- tilled earth for cropping
- initial close connection to South Creek for water supply
- buildings for livestock shelter and management
- siting of the c1865 house on a dominant ridge with good outlook
- garden development with symbolic connections to the agrarian landscape
- entryway linking the house to the corner of Camden Valley Way and Oran Park Drive.

5.0 ASSESSMENT OF HERITAGE SIGNIFICANCE

5.1 Assessment of Heritage Significance

This assessment of heritage significance for Oran Park has been based on the criteria and guidelines contained in the NSW Heritage Manual Update *Assessing Heritage Significance* produced by the NSW Heritage Office.

State significance means significance to the people of NSW. **Local** significance means significance within the local government area of Camden.

Key

| | |
|---|----------------------|
| ✓ | Guideline applicable |
| — | Not applicable |

5.1.1 Criterion (a)

An item is important in the course, or pattern, of NSW's cultural or natural history (or the cultural or natural history of the local area).

| | Guidelines for inclusion | | Guidelines for exclusion |
|---|---|---|---|
| ✓ | <ul style="list-style-type: none"> shows evidence of a significant human activity | — | <ul style="list-style-type: none"> has incidental or unsubstantiated connections with historically important activities or processes |
| ✓ | <ul style="list-style-type: none"> is associated with a significant activity or historical phase | — | <ul style="list-style-type: none"> provides evidence of activities or processes that are of dubious historical importance |
| — | <ul style="list-style-type: none"> maintains or shows the continuity of a historical process or activity | — | <ul style="list-style-type: none"> has been so altered that it can no longer provide evidence of a particular association |

Comment

Oran Park is considered to be of historical significance at a state and local level in consideration of the following:

- The Oran Park precinct covers part of the land granted to William Douglas Campbell by Governor Macquarie in 1815 originally called "Harrington Park" – and most of the grant Macquarie made to his lieutenant governor George Molle, also in 1815 originally named "Netherbyres".
- The original parts of the Coach House at Oran Park were constructed in the early nineteenth century when the landscape was dotted with similar gentlemen's properties established on generous grants from colonial governors and lieutenant governors.
- The house was constructed in 1838-41. Oran Park homestead provides an example of the nineteenth century gentlemen's country estates that once dominated the landscape in the Camden Narellan area. Oran Park House is now adapted to a 1930's period style. The garden relates to this period of design and development, however the terracing and connection to the landscape date from c1865.
- Despite changing hands many times, the site and house have generally always been used as a gentleman's country estate except for its brief use as a golf/country club in the 1960's.
- The Estate is of local significance to the Darug, Dharawal and Gundungurra Aboriginal communities sense of place for their early occupation of and attachment to the area. However community consultation conducted by Kelleher Nightingale Consultancy P/L did not identify specific historical significance of identified Aboriginal archaeological sites at the place.

5.1.2 Criterion (b)

An item has strong or special association with the life or works of a person, or group of persons, of importance in NSW's cultural or natural history (or the cultural or natural history of the local area).

| | Guidelines for inclusion | | Guidelines for exclusion |
|---|---|---|--|
| ✓ | <ul style="list-style-type: none"> shows evidence of a significant human occupation | — | <ul style="list-style-type: none"> has incidental or unsubstantiated connections with historically important people or events |
| ✓ | <ul style="list-style-type: none"> is associated with a significant event, person, or group of persons | — | <ul style="list-style-type: none"> provides evidence of people or events that are of dubious historical importance |
| | | — | <ul style="list-style-type: none"> has been so altered that it can no longer provide evidence of a particular association |

Comment

Oran Park is considered to be of historical association significance at a state and local level in consideration of the following:

- Oran Park has brief associations with members of the ruling class in early New South Wales including Campbell, Keck, Johnson and Barker. The Moore family which owned it from 1871 to 1938 had strong local associations. Oran Park, like its neighbour Harrington Park, was a manifestation of local connections with the squatting age and the upward social mobility that it conferred.
- Oran Park homestead is associated with motor racing being owned by engineer and motor racing personality, the Honourable Lionel John Charles Seymour Dawson-Damer – known as John Dawson-Damer – who purchased the Oran Park homestead and surrounding land in 1969. He and his wife Ashley worked to restore the house and grounds. It was located next-door to the motor racing circuit that took its name – Oran Park Raceway, which opened on the Netherbyres land in 1962, which became a significant and well-patronised track. Dawson-Damer established his own collection of vintage Lotus racing cars at Oran Park homestead which he called 'The Farm'. He worked on the cars there, restoring and rebuilding them, and also used the property to host the meetings of Club Lotus Australia.
- John Dawson-Damer lived at the Oran Park homestead with his family for over 30 years until his death in a racing crash at Goodwood, UK in 2000. His widow and his two children remained in residence there until 2006.

5.1.3 Criterion (c)

An item is important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in NSW (or the local area).

| | Guidelines for inclusion | | Guidelines for exclusion |
|---|--|---|---|
| ✓ | <ul style="list-style-type: none"> shows or is associated with, creative or technical innovation or achievement | — | <ul style="list-style-type: none"> is not a major work by an important designer or artist |
| — | <ul style="list-style-type: none"> is the inspiration for a creative or technical innovation or achievement | — | <ul style="list-style-type: none"> has lost its design or technical integrity |
| ✓ | <ul style="list-style-type: none"> is aesthetically distinctive | — | <ul style="list-style-type: none"> its positive visual or sensory appeal or landmark and scenic qualities have been more than temporarily degraded |
| ✓ | <ul style="list-style-type: none"> has landmark qualities | — | <ul style="list-style-type: none"> has only a loose association with a creative or technical achievement |
| — | <ul style="list-style-type: none"> exemplifies a particular taste, style or technology | | |

Comment

Oran Park is considered to be of aesthetic significance at a state and local level in consideration of the following:

- The siting of the homestead complex on the knoll of the property and the original sweeping driveway from the intersection of Camden Valley Way and Cobbitty Road follow the landscape principles of the time. The siting of the early residence (later coach house) and the Oran Park Homestead next to the water source, and the establishment of the estate dams and tank systems were essential for the early establishment and survival of the homestead, gardens and agricultural pursuits of the estate.
- The homestead complex, with its formal front garden that links to the landscape, is discernable from Oran Park Drive. Plantings date generally from the 1940s and form signal plantings noting the location of the house. The formal garden provides setting for the house and intimate recreational spaces for the occupants.
- Oran Park House has aesthetic significance as an Inter-War period Georgian Revival styled design that is a very successful and competent adaptation of a Victorian period building.

5.1.4 Criterion (d)

An item has strong or special association with a particular community or cultural group in NSW (or the local area) for a social, cultural or spiritual reasons.

| | Guidelines for inclusion | | Guidelines for exclusion |
|---|--|---|--|
| ✓ | <ul style="list-style-type: none"> • is important for its associations with an identifiable group | — | <ul style="list-style-type: none"> • is only important to the community for amenity reasons |
| — | <ul style="list-style-type: none"> • is important to a community's sense of place | — | <ul style="list-style-type: none"> • is retained only in preference to a proposed alternative |

Comment

Oran Park is considered to be of social significance at a local level in consideration of the following:

- The Oran Park Estate is one of a number of 19th century gentleman's estates in the Cowpastures area including the following. The early estates in the area were often linked by familial ties or marriage, and were owned by upstanding members of the community with high social status interested in bettering their communities:
 - Harrington Park
 - Orielson
 - Camden Park
 - Wivenhoe
 - Maryland
 - Gledswood
 - Raby
 - Mt Gilead
 - Brownlow Hill
 - Denbigh
 - Nonnorah
- "Cultural value of the area around Catherine Park [Oran Park] has been identified by Glenda Chalker, who has direct familial connections with Camden Park to the south west."
 KNC: CHAR June 2014:pg.18

5.1.5 Criterion (e)

An item has potential to yield information that will contribute to an understanding of NSW’s cultural or natural history (or the cultural or natural history of the local area).

| | Guidelines for inclusion | | Guidelines for exclusion |
|---|--|---|--|
| ✓ | <ul style="list-style-type: none"> has the potential to yield new or further substantial scientific and/or archaeological information | — | <ul style="list-style-type: none"> the knowledge gained would be irrelevant to research on science, human history or culture |
| — | <ul style="list-style-type: none"> is an important benchmark or reference site or type | — | <ul style="list-style-type: none"> has little archaeological or research potential |
| — | <ul style="list-style-type: none"> provides evidence of past human cultures that is unavailable elsewhere | — | <ul style="list-style-type: none"> only contains information that is readily available from other resources or archaeological sites |

Comment

Oran Park is considered to be of archaeological significance at a state or local level in consideration of the following:

- Archaeological remains related to the initial use of the property and 1830s original residence (coach house) and c1865 House would be of State significance.
- Later 19th and early 20th century archaeological remains would be of local significance.
- The area around the Oran Park House and Coach House building complex has the potential to reveal past building layouts, uses and roadways. Refer to section 3.6 of this CMP.
- For a detailed study and understanding of the Aboriginal Archaeology refer to Appendix I Catherine Park Cultural Heritage Assessment Report, Kelleher Nightingale Consulting Pty Ltd dated June 2014, pg.18. Additionally refer to Figures 151 and 152.



Figure 151: Disturbance mapping and location of archaeological sites within Catherine Park. KNC: CHAR June 2014:pg.12 Figure 7.



Figure 152: Identified Aboriginal sites within the study area. KNC: CHAR June 2014:pg.16

5.1.6 Criterion (f)

An item possesses uncommon, rare or endangered aspects of NSW’s cultural or natural history (or the cultural or natural history of the local area).

| Guidelines for inclusion | | Guidelines for exclusion | |
|--------------------------|--|--------------------------|--------------------------------|
| — | • provides evidence of a defunct custom, way of life or process | — | • is not rare |
| — | • demonstrates a process, custom or other human activity that is in danger of being lost | — | • is numerous but under threat |
| — | • shows unusually accurate evidence of a significant human activity | | |
| — | • is the only example of its type | | |
| — | • demonstrates designs or techniques of exceptional interest | | |
| — | • shows rare evidence of a significant human activity important to a community | | |

Comment

Not applicable.

Oran Park Estate is a representative example of a 20th century gentleman’s club estate with substantial house, gardens and farm buildings. See 5.1.4.

5.1.7 Criterion (g)

An item is important in demonstrating the principal characteristics of a class of NSW’s (or the local area’s) cultural or natural places or natural environments.

| Guidelines for inclusion | | Guidelines for exclusion | |
|--------------------------|---------------------------------|--------------------------|---------------------------------|
| ✓ | • is a fine example of its type | — | • is a poor example of its type |

| | | | |
|---|--|---|--|
| ✓ | <ul style="list-style-type: none"> has the principal characteristics of an important class or group of items | — | <ul style="list-style-type: none"> does not include or has lost the range of characteristics of a type |
| ✓ | <ul style="list-style-type: none"> has attributes typical of a particular way of life, philosophy, custom, significant process, design, technique or activity | — | <ul style="list-style-type: none"> does not represent well the characteristics that make up a significant variation of a type |
| — | <ul style="list-style-type: none"> is a significant variation to a class of items | | |
| ✓ | <ul style="list-style-type: none"> is part of a group which collectively illustrates a representative type | | |
| — | <ul style="list-style-type: none"> is outstanding because of its setting, condition or size | | |
| — | <ul style="list-style-type: none"> is outstanding because of its integrity or the esteem in which it is held | | |

Comment

Oran Park is considered to be of representative significance at a local level in consideration of the following:

- Oran Park Estate is a representative example of a 19th century gentleman's estate with substantial house, gardens and farm buildings. See 5.1.4.

5.2 Statement of Heritage Significance

Statement of Significance has been prepared by Tropman & Tropman Architects and Casey & Lowe – refer Authors in Section 1.5 of this report.

Oran Park Estate is of State significance as an exceptional example of a Nineteenth Century homestead complex sited to be a landmark in the Cowpastures landscape. Oran Park House is a fine example of a Victorian Period villa building that has been very competently and successfully adapted externally to appear as a Georgian Revival style Interwar Period residence by the Robbins family in c1940. It has historical significance as part of the original 1815 Campbell grant of Harrington Park. The property has associations with the prominent Campbell, Moore, Robbins, and Dawson-Damer families. Despite never being fully intensively farmed, the property has significance as one of a group of mid-nineteenth century pastoral properties in the Camden Local Government Area that was mostly used as a Gentleman's Estate or Country Retreat. The House's prominence allows views to and from the property from various distant vantage points including Oran Park township and the Camden Valley Way. The Coach House is also of state significance, despite modifications, being the early residence on the estate. There appear to be no plantings pre-dating the 1940s at the site, located within the confines of the House gardens. Some native vegetation remains along the riparian corridor of South Creek.

The site of Oran Park House has the potential to contain archaeological evidence relating to its use as a homestead in the 19th and early 20th centuries. These remains are likely to consist of structural remains and subfloor occupation deposits associated with the 19th and early 20th century outbuildings, rubbish pits and backfilled wells, cisterns and/or cesspits, remains of early driveways, and subfloor occupation deposits within the standing house, and in the modified coach house to the southeast. Evidence of early land clearances and cultivation, and structural remains such as sheds are less likely to have survived in the areas outside the immediate vicinity of the house.

The Coach House is probably the earliest European structure on the site, and is most likely a modified version of the original 1830s dwelling house on the property. The later house, now known as Oran Park House, dates to c.1865. Both structures have the ability to illustrate the evolution of a Sydney fringe pastoral estate from small scale dairying, grazing and cropping to stately home and recreational facility. The silage silo c1920 of moderate significance is evidence of dairying as a past use. The relocated Caretaker's Cottage of c1930 has been heavily adapted with an addition to the front in 1976 and further modifications in 1990. Therefore it is of little significance. Archaeological remains also have the ability to provide insight into standards of living, material culture, consumerism, gender relations, and other areas of interest not available from the historic record.

Identified Aboriginal archaeological sites in the study area were of moderate and/or low significance. Sites of moderate significance have the potential to contribute to the holistic understanding of the Aboriginal cultural landscape of Oran Park such as interrelationships between sites, Aboriginal cultural use of the landscape and occupational patterns. Sites of low significance are highly disturbed and are unlikely to provide any such insight.

Substantive European archaeological remains related to the initial use of the property, particularly the coach house if it is the original 1830s residence, and other nineteenth-century remains associated with the homestead or reflecting the use of the property in this period would be of State heritage significance. Later 19th and early 20th-century archaeological remains would be considered to be of local heritage significance.

5.3 Curtilage

In designing the curtilage for this Estate the following components are important to interpreting the significance of the place:

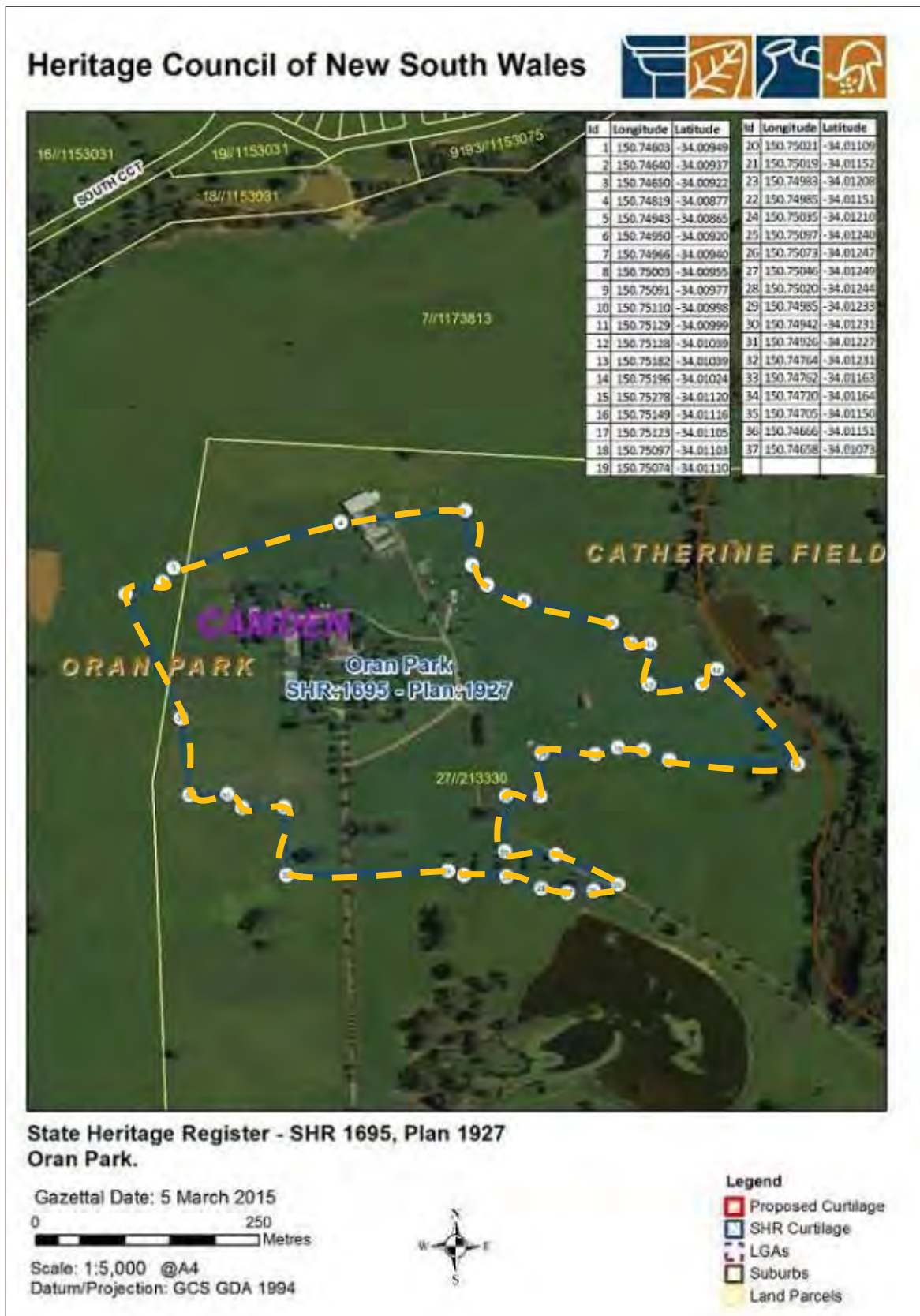
- The eastern knoll section of the ridgeline extending from west to east towards South Creek
- The siting of the homestead on this ridge which gives an impression of dominance in the cleared pastoral landscape and vistas beyond to Camden Valley Way and north-east to South Creek.
- Open space to east and south-east environs
- South Creek as a feature and source of water
- Tracks linking the Homestead to the landscape and the access road to Camden Valley Way
- Agricultural paddocks used for grazing, especially towards South Creek
- The House c1865 adapted as a place expressing fashionable styling from the period between the wars c1940 and the ancillary features associated with the Homestead
- Farm management buildings – the c1837 Coach House (and residence) and the c1920 Masonry Silo
- Vistas from the Homestead complex – the principal rooms are located on the south and east sides of the house and predominantly in the south-east corner. Views from the house are predominantly in a north-east to south-east arc.
- Owners and their values towards the house and paddocks as a Gentleman's Estate.
- Formal Presentation Garden with linking element that leads south into the agrarian landscape.

These components explain the story of Oran Park and are essential to retaining its significance in the changing landscape. The broader setting has undergone drastic change over the past few years with approved residential subdivision of the estate. Refer to the Addendum November 2017 at the beginning of the CMP for contextual aerial photography providing clear indication of the surrounding approved residential subdivision and how much the landscape has already changed.

Subdivision is approved within and around the Curtilage of Oran Park Estate and is consistent with the outcomes proposed in the Heritage Exemption Guidelines. Relevant concise information has been included in Section 8.0 of the CMP.

For further information refer to Appendix C Catherine Park Estate, Oran Park House Heritage Exemption Guidelines and Appendix D Catherine Park House Heritage Curtilage Public Domain Strategy.

The Curtilage can be seen in Figure 153 over page.



N ↑

Figure 153: Aerial photograph showing Oran Park SHR Curtilage marked in an orange dashed line, this is the area in which the State Heritage Registered Oran Park is located.

5.4 Grading of Significance – Building and Components

Considering the physical and documentary evidence gathered, the Statement of Significance and various constraints, requirements and opportunities, the grading of significance is possible.

Grading reflects the contribution the element makes to overall significance of the item (or the degree to which the significance of the item would be diminished if the component were removed or altered). Oran Park has been assessed to determine a relative grading of significance into five levels. This process examines a number of factors, including:

- Original design quality
- Degree of intactness and general condition
- Relative age and authenticity (original, replaced)
- Extent of subsequent alterations
- Association with important people or events
- Ability to demonstrate a rare quality, craft or construction process

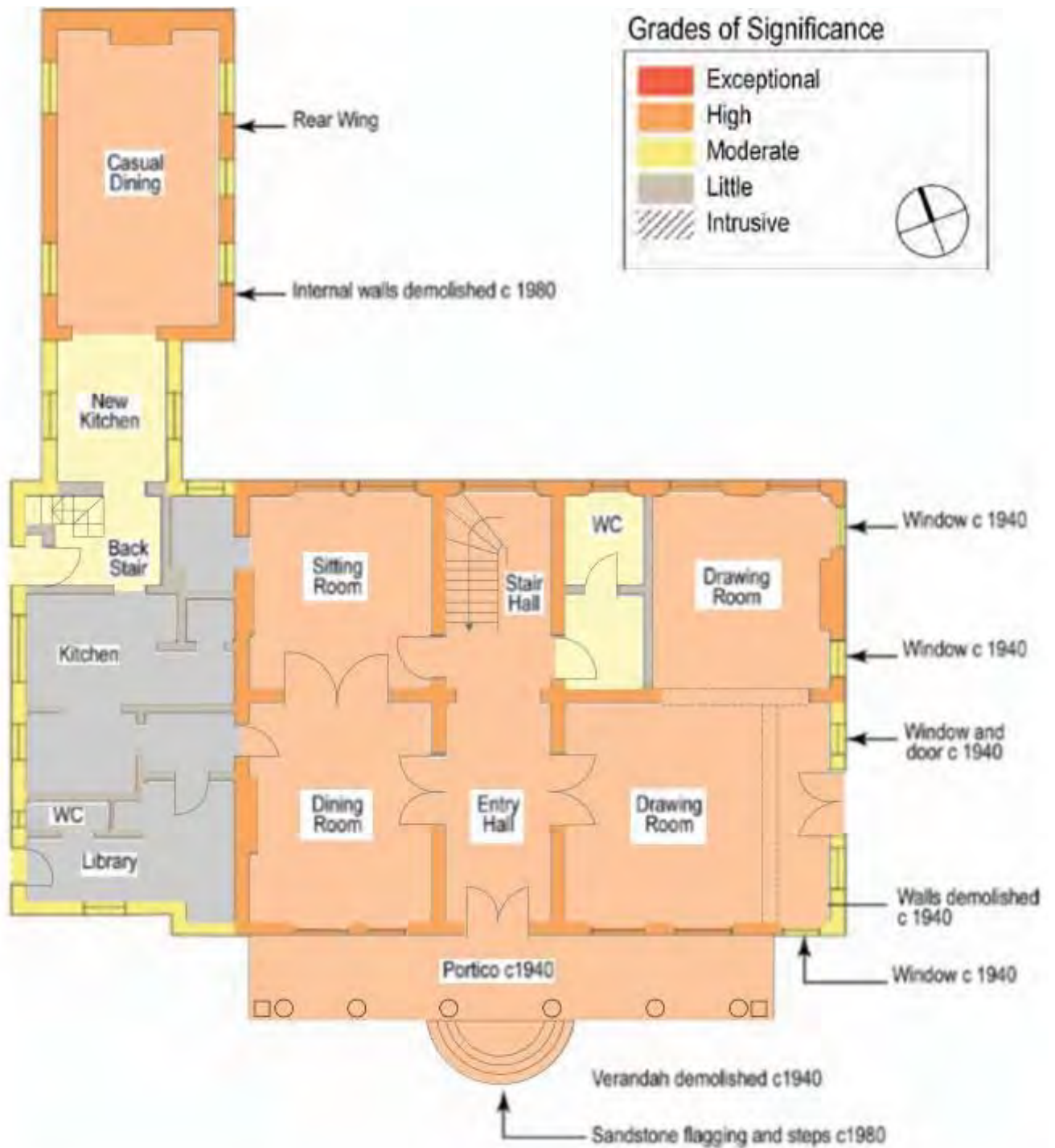
In accordance with the NSW Heritage Branch Guidelines for Assessing Heritage Significance, the standard NSW Heritage Branch five-grade system has been applied to the Subject site, subject building, and views and vistas to assess individual contribution of each element to the overall significance of the item.

| Item No. | Grading | Justification | Status | Grades of Tolerance for Change | Policy |
|----------|------------------------------|--|--|----------------------------------|---|
| 1 | Exceptional significance (E) | Rare or outstanding item of Local or State significance. High degree of intactness. Item can be interpreted relatively easily. | Fulfils criteria for Local or State listing. | Nil to Low tolerance for change. | The key attributes (form, fabric, function, location, intangible values) embody the heritage significance of the element and/or its contribution to the significance of the site. The element retains a high degree of integrity and authenticity with only very minor alterations that do not detract from its significance. The key attribute should be retained and conserved with no adverse impact on its significance. |
| 2 | High significance (H) | High degree of original fabric. Demonstrates a key element of the item's significance. Alterations do not detract from significance. | Fulfils criteria for Local or State listing. | Some tolerance for change. | The key attributes (form, fabric, function, location or intangible values) embody the heritage significance of the element and/or its contribution to the site. It has undergone some alteration which does not detract from its authenticity and significance. This key attributes of the element should be retained and conserved. It may be changed to a degree providing there is no or minimal adverse impact on its significance. |

| | | | | | |
|---|---------------------------|--|--|-----------------------------------|--|
| 3 | Moderate significance (M) | Altered or modified elements. Elements with little heritage value, but which contribute to the overall significance of the item. | Fulfil criteria for Local or State listing. | Moderate tolerance for Change. | The key attributes (form, fabric, function. Location or intangible values) partly embody the heritage significance of the element and/or its contribution to the site, or has been considerably modified. The key attributes of the element should be generally retained and conserved. Moderate change to this attribute is possible which should aim to minimise adverse impact, on the significance of the element or the site. |
| 4 | Little significance (L) | Alterations detract from significance. Difficult to interpret. | Does not fulfil criteria for Local or State listing. | Substantial tolerance for change. | The key attributes (form, fabric, function, location or intangible values) of the element have relatively little heritage significance, but may contribute to the overall significance of the site. Substantial change to this element may be possible, avoiding adverse impacts on the significance of the site overall. |
| 5 | Intrusive (I) | Damaging to the item's heritage significance. | Does not fulfil criteria for local or State listing. | High tolerance for change. | The key attributes of the element (form, fabric, function, location or intangible values) have negligible heritage significance to the site. There is a high tolerance for change to this element, avoiding adverse impact on site significance of the site overall. |

| Subject Site – summary of significant items | Level of Significance |
|--|-----------------------|
| <ul style="list-style-type: none"> • Siting of Oran Park House | EXCEPTIONAL |
| <ul style="list-style-type: none"> • Oran Park House (external and internal including internal spaces, joinery and fitout) except recent kitchens fitout • Views and vistas to and from Oran Park House including from Oran Park township • Remnants of original driveway to Camden Valley Way including part avenue of trees • Coach House (with external and internal fitout) works 2000± • Formal Carriage Loop and tracks from house into landscape • Formal Garden Design and links to landscape • Open space towards South Creek • South Creek as a water source and environ | HIGH |
| <ul style="list-style-type: none"> • Elevated Water Tanks • Tennis Court • Silo • Straight track south entry driveway • Archaeology • Aboriginal archaeology site CFPP-02 | MODERATE |
| <ul style="list-style-type: none"> • Caretaker's cottage (from Burragorang Valley) • Swimming Pool • Garden Equipment Shed • Aboriginal archaeology site CFPP-15 | LITTLE |
| <ul style="list-style-type: none"> • None | INTRUSIVE |

The following drawings from the Godden Mackay Logan 2010 CMP denote the significance of the Oran Park Estate.



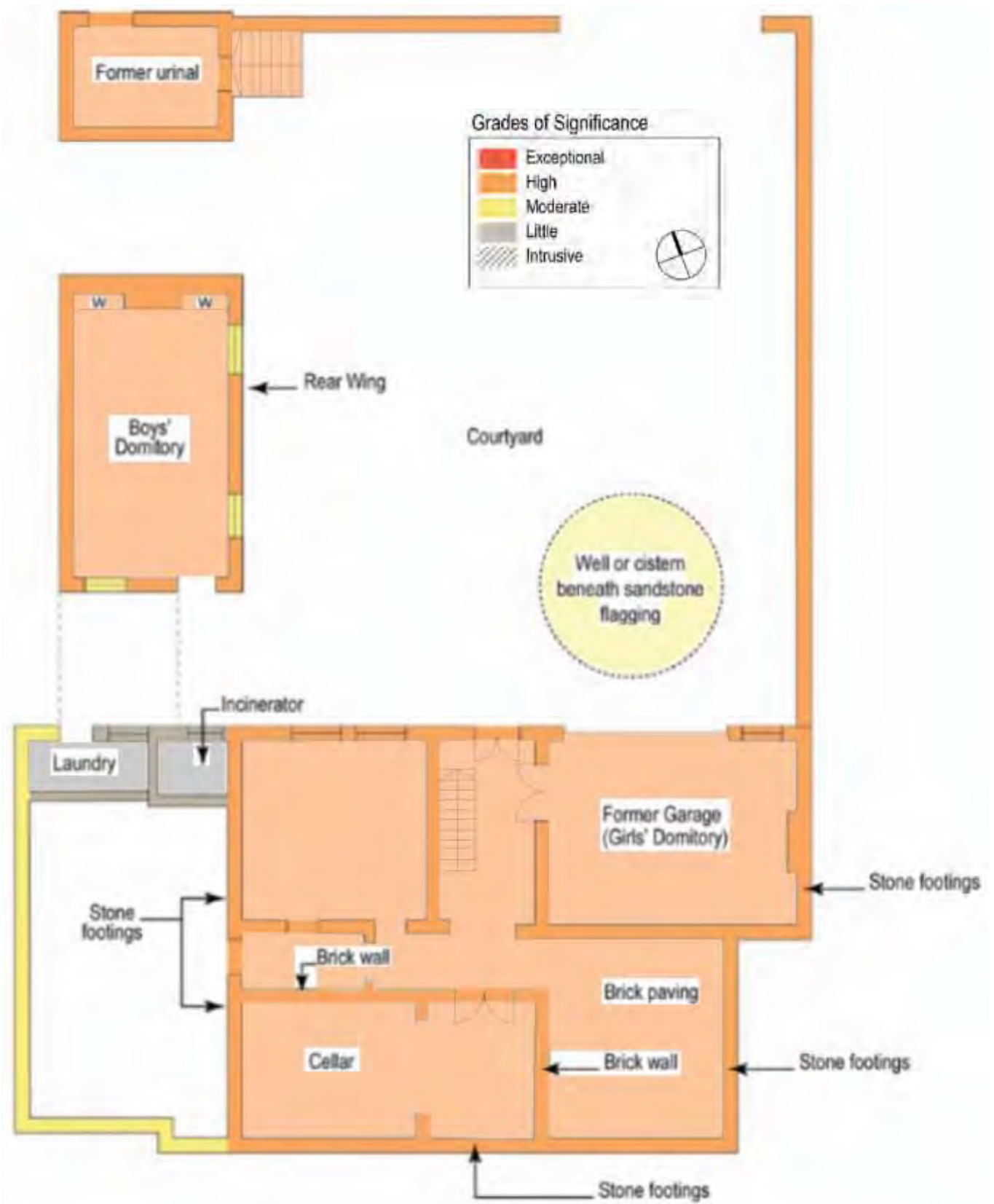
Not to scale

Figure 154: Grading of significance of the Ground Floor of Oran Park House, as sourced from GML: 2010:pg.90.



Not to scale

Figure 155: Grading of significance of the First Floor of Oran Park House, as sourced from GML: 2010:pg.91.



Note to scale

Figure 156: Grading of significance of the Basement Floor of Oran Park House, as sourced from GML: 2010:pg.92.

6.0 CONSTRAINTS AND OPPORTUNITIES

This section outlines the main constraints and opportunities which need to be addressed in the conservation management policy for the subject site and building.

6.1 Physical constraints & requirements arising from the statement of significance

- 6.1.1 No activity should be allowed that would confuse the fact that Oran Park constitutes an important component of the cultural development of the Camden Local Government Area.
- 6.1.2 An appropriate curtilage setting has been established and will be respected. No activity within or along the boundaries of this curtilage should be allowed that would confuse the interpretation of the site as an early Gentleman's estate.
- 6.1.3 Any new building, services, landscaping or activities at the site or in the vicinity of the site should have regard to the existing scale, style and character of the site and context. Heritage Exemption Guides were adopted and endorsed by the NSW Heritage Council with the gazettal listing of Oran Park in March 2015. These Guidelines are to provide a heritage approval process for development around the Homestead Lot including the Coach House and Neighbourhood Centre. Refer to Appendix C.
- 6.1.4 The existing significant fabric and features must be retained in-situ and conserved. (Refer Section 5.4).
- 6.1.5 No activity should take place which could destroy a potential archaeological resource.

6.2 Procedural requirements (conservation methodology)

Since the subject site is of cultural significance, any work at the site or in the vicinity of the site should be done in accordance with the principles of the Australia ICOMOS Burra Charter. In particular the following procedural requirements (conservation methodology) should be noted.

Burra Charter

- Article 3-** *Conservation work should be based on a respect for existing fabric. It should not distort the evidence provided by the fabric.*
- Article 15-** *Restoration is limited to the reassembling of displaced components or removal of accretions in accordance with Article 16.*
- Article 16-** *Contributions of all periods must be respected.*
- Article 20-** *Adaptation is acceptable where the conservation of the site cannot otherwise be achieved, and where adaptation does not substantially detract from its cultural significance.*
- Article 23-** *Existing fabric should be recorded before any disturbance.*
- Article 24-** *Study of the site by any disturbance of the fabric or by archaeological excavation should be undertaken where necessary to provide data essential for decisions on the conservation of the place.*

6.3 Constraints & requirements arising from the physical & documentary evidence

It is reasonable to assume that more evidence, both physical and documentary may come to light during the implementation of major conservation works at the site. This may include information on early decorative schemes, archaeological information, or further evidence revealed, for example by intervention to the fabric or from other resources.

6.4 Constraints & requirements arising from the physical condition

6.4.1 Generally

Generally, the subject site is easily interpretable as a gentleman's estate and residence. The house has retained fabric throughout various building phases. The house appears to be in reasonably good condition. Its form and configuration can be clearly understood.

6.4.2 Structural Stability

Oran Park House appears to be in reasonably sound condition. It should be noted that a Structural Engineer's report was not carried out on the building as part of this study.

6.4.3 Water Damage

Water damage has been noted to the internal walls associated with chimneys. A water inspection report was not carried out as part of this study. Flashing leaks associated with the chimneys have been repaired.

6.4.4 Pest Infestation

A pest inspection was not carried out as part of this report. No visible evidence of infestation was noted.

6.4.5 Vehicle & Pedestrian Access

Vehicle and pedestrian access to the site is via the straight driveway off Oran Park Drive.

6.5 External constraints – Regulatory Framework

6.5.1 Statutory Constraints

Approval from the following authorities is required before major changes are made to the items included in their heritage registers.

6.5.1.1 1977 NSW Heritage Act

The site is listed on the State Heritage Register as:

- "Oran Park", 112-130 Oran Park Drive, Oran Park NSW 2750, State Heritage Register listing number 01695, Gazette date 5 March 2015

Heritage Exemption Guidelines for Residential Development and Coach House Neighbourhood Centre within the Heritage Curtilage March 2015 are included as Appendix H.

State Heritage Register Listing

Heritage items of particular importance to the people of NSW are listed on the SHR which was created in April 1999 by amendments to the *Heritage Act 1977*. The statements of Significance for SHR listings are found at the following:

<http://www.environment.nsw.gov.au/heritageapp/heritagesearch.aspx>

State Heritage Register Requirements

The NSW State Heritage Register (SHR) is established under Section 22 of the Heritage Act, and pursuant to Section 57(1) of the Act, the approval of the Heritage Council of NSW is required for any proposed development within an SHR listed place, including subdivision, works to the grounds or structures, or disturbance of archaeological 'relics'.

Properties listed on the State Heritage Register are required to be maintained in accordance with Section 118 of the Heritage Act as set out in the *Heritage Regulation 2012*, Sections 9–15. The **Minimum Standards of Maintenance and Repair** require weatherproofing; fire protection; security; and essential maintenance and repair. The Heritage Act Minimum Maintenance Standards can be accessed at www.environment.nsw.gov.au/Heritage/

Heritage Act Approvals and Consent Processes

Development approval is required in order to undertake most forms of work on SHR heritage properties. In some circumstances, basic maintenance, repairs and minor alterations may be subject to exemption from approval, however such exemptions must be formally confirmed in writing by both the relevant Council and the Heritage Council of NSW prior to the start of any work. The relevant Council in which the SHR property occurs and the Heritage Council of NSW

are the primary consent authorities respectively under the *Environmental Planning and Assessment Act 1979* and the 1977 Heritage Act. All State-listed heritage items, require applications for approval to undertake works on them. This can be made in one of two ways: as an (a) Integrated Development Application (IDA) followed by a Section 60 application to the Heritage Council of NSW, or (b) separately as a standalone Section 60 application followed by a Development Application (DA) to the relevant Council.

IDAs are those Development Applications that are submitted directly to the relevant Council. Council will refer the application to the Heritage Council of NSW for consideration and general terms of approval before the Council determines the application. The IDA will also be publicly advertised for 30 days and any submissions will be taken into consideration by both the relevant Council and the Heritage Council of NSW. This application mode is particularly encouraged to facilitate efficient processing of applications to save time.

6.5.1.2 Local Government

The subject site is listed as an item of Local significance on the *Camden Local Environmental Plan 2010* as:

- “Oran Park” (including homestead, grounds, outbuildings, old cottage, silo, stable building, carriage house, drive and circular carriage drive), 931 Cobbitty Road, Oran Park (Lot 27, DP 213330), Item 137.

Any works, alterations or additions will require development consent and be subject to the relevant heritage clauses located in the LEP. Generally, a Heritage Impact Statement will be required. Some works may be exempt if they constitute works of a minor nature (such as maintenance) that will not adversely impact upon the heritage significance of the site.

6.5.1.3 National Construction Code and Building Code of Australia

The NCC (National Construction Code) and BCA (Building Code of Australia) is a national set of building regulations covering (but not limited to) fire protection, fire warning, egress and universal access.

Fire Safety

Careful design and/or upgrading of the existing fire protection and warning systems will need to be undertaken so as to have minimal impact upon significant fabric. Extent of the systems will be dependant upon use of the building.

Where compliance with the code requires loss of significant building fabric, then an innovative solution must be developed to retain the significant fabric.

Universal Access

Although the NCC/BCA covers universal access, compliance with the NCC/BCA does not automatically ensure compliance with the Commonwealth Disability Discrimination Act (DDA) 1992. Heritage buildings are not exempt from the requirements of the DDA. Careful consideration should be given to the intended use of the building to enable universal access where possible where this will not impact upon significant fabric.

6.5.2 Non-Statutory Constraints

6.5.2.1 National Trust of Australia (NSW)

The subject site is listed on the National Trust’s register.

Listing on the Register of the National Trust carries no statutory implications. The Trust’s opinions however, are usually sought when major proposals are being formulated in heritage precincts or in relation to heritage buildings.

6.6 Constraints arising from current use and client requirements

Oran Park House is currently used as a Sales Office for Oran Park Estate. A caretaker lives in the Caretaker's Cottage on the property and maintains the house, subject buildings and gardens.

The owners of the site are subdividing the property. An appropriate curtilage has been proposed around the Oran Park House lot and approved. The owners intend to undertake conservation works to the property to restore it and enable its use. This Conservation Management Plan has been prepared to provide for the long-term conservation work and maintenance of the place.

6.7 Opportunities for future use

The feasibility of these future use options for the subject buildings should be investigated with close reference to the constraints and requirements of this Conservation Plan and the conservation policies contained in Section 7.0 of this report.

Most importantly, any new uses of the buildings should respect the original internal planning and configuration. Future uses should ideally allow continued residential use of the property.

The following list provides possible future use opportunities for the subject site and buildings. Please note this list is by no means prescriptive or exhaustive, rather it aims to show the opportunities that could be applied to the site. Further options may come to light in future planning of the site; these options should also be explored to determine the best possible outcome for the site.

- 6.7.1 The opportunity exists to reinstate the recent and historic use of the building as a family residence as part of a gentleman's estate. This would be the most desirable use of the site and buildings.
- 6.7.2 The opportunity exists to utilise the house as a community centre or club house for the new housing development proposed on the estate. This use would require careful planning and management to ensure the significance of the site is maintained.
- 6.7.3 The opportunity exists to utilise the House as a compatible commercial enterprise.

Suggested adaptive reuses for the House are:

- Rural retreat for families and guests to hire for period of occupation (holiday rental)
- Estate land sales office (6.6)
- Bed and Breakfast accommodation
- Offices and reception for amenities
- Café and amenities
- Restaurant for lunches and dinner
- Wine bar and amenities and vineyard winery
- Art gallery
- Health retreat
- Medical centre and offices

6.7.4 Coach House

Suggested adaptive re-uses for the Coach House are:

- Café
- Restaurant
- Wine bar
- Convenience/neighbourhood shop
- Real estate office
- Craft centre and retail outlet
- Community activity centre

6.7.5 Silo

Ancillary buildings may be added externally to the base of the Silo to provide further accommodation for its future use.

Suggested adaptive re-uses for the Silo are:

- Retreat accommodation
- Café
- Wine bar
- Distillery
- Craft centre – selective retail outlet
- Town clock

6.8 Opportunities for future development

The feasibility of the development and use options should be investigated with close reference to the constraints and requirements of this Conservation Plan and the conservation policies contained in Section 7.0 of this report.

The following list provides possible opportunities for the site. Please note this list is by no means prescriptive or exhaustive, rather it aims to show the opportunities that could be applied to the site. Further options may come to light in future planning of the site; these options should also be explored to determine the best possible outcome for the site.

- Development approval has been granted to construct new residences around the Homestead Lot (refer to Figure 157).
- Development approval has been granted for subdivision of the greater estate and residential development beyond the Homestead Lot.

6.9 Guidelines for development

The values, qualities, significance, fabric and the context of the subject building should be retained irrespective of the future development of the site. The following values are important in the conservation and adaptive reuse of the place.

6.9.1 Planning/context

The existing external planning features of the house are important to maintain and should be addressed in planning futures uses of the site. The dominance of the house located on the knoll should be respected and view lines maintained. The early internal configuration of the spaces should be respected and maintained in any future uses of the main building.

6.9.2 New buildings and works within the homestead lot

Some new structures may be permissible to the rear of the property. This would be limited to subservient outbuildings relating to and supporting the use of the house and site. Any new building should be sympathetically designed to fit in with and take advantage of the topography of the site and the setting of the subject buildings and the surrounding context. Any new building should be interpretable as new work. This issue should be carefully considered and be compatible with future use options and opportunities for the site. Upgrading and replanning of the Kitchen and Family Room and wet areas of the house would be appropriate. Any new buildings and works would need prior approval from the NSW Heritage Office and Camden Council.

6.9.3 Amenities

Careful consideration should be given to future uses of the main building, especially where further amenities are required, e.g. for commercial use of the building. Any additional amenities required to service the building may be best suited to a new sympathetic structure to the rear of the house.

6.9.4 Significant fabric and items

The significant fabric (refer Section 5.4) of the subject site and building must be conserved.

6.9.5 Universal Access

Careful consideration should be given to future uses of the site and buildings, especially where public access is required. Universal access is currently not available to the house. Universal access to the building should only be provided where it will not have adverse impact on the significance of the building, significant fabric and internal layouts. As the basement and first floors are only accessible via stairs from the ground floor, any future use should be considered in view of this limitation.

7.0 CONSERVATION POLICY

The following conservation policies arise out of the statement of significance, the physical condition and other constraints (Refer Section 3.0, 5.0 and 6.0). An approach should be chosen for the subject site that allows as many as possible of these conservation policies to be implemented to ensure appropriate future management that will retain and enhance significant fabric and allow clear interpretation of the significance of the site.

The purpose of this policy is to determine how the subject site should be managed in terms of future development, use and maintenance in order to retain the cultural significance of the place, the objective being to retain and incorporate significant elements of the place within the framework of a viable appropriate future use for the site.

The implementation of this policy will allow the clear interpretation of the significance of the site and the most appropriate way of caring for the significant fabric.

The policies intend to:

- retain and enhance the cultural significance of the place;
- ensure the retention of significant fabric, planning approach and natural and cultural landscape setting of the site;
- allow adaptation, alterations and new works which are consistent with the cultural significance of the place and which promote a viable appropriate use of the site;
- define guidelines for new development within the curtilage of the site;
- indicate an approach to the future management and maintenance of the site, by qualified persons.

7.1 Conservation procedures at the site

- Policy 1.1 Generally, treat the site as being of cultural heritage significance, and consequently guide works and activities at the site by the provisions of the Australia ICOMOS Burra Charter.
- Policy 1.2 The policies outlined in this document should be adopted as the guide to future planning and work at the site.
- Policy 1.3 Works must meet the NSW Heritage Office *minimum standards of maintenance and repair*, and personnel skilled in disciplines of conservation practice, including professionals, skilled building and engineering trades, etc should be engaged as appropriate to advise or implement conservation works at the site. Personnel involved in the documentation and implementation of works at the site should be recorded for future reference.
- Policy 1.4 Carry out, catalogue and archive systematic surveys of the site, before, during and after any works in accordance with NSW Heritage Branch and DUAP Guidelines. Any new information that comes to light during and after works at the site shall be recorded in a report, a copy of which shall be held at the archive of the site.
- Policy 1.5 Assemble, catalogue and make readily available for public inspection, copies of all known historical drawings, pictorial documents and written records relating to the site in a permanent archive of the site.
- Policy 1.6 Document any proposed works to the place in a way that allows scrutiny by others before they are executed and can be retained for posterity. The documentary or physical evidence upon which conservation decisions are made for each part of the element should be cited. A copy of the documentation, including schedules and drawings, shall be held at the archive of the site.
- Policy 1.7 Prepare a Photographic Archival Record of the site prior to, during and after undertaking any major works, following applicable guidelines and standards.

- Policy 1.8 This Conservation Management Plan should be reviewed no later than every 10 years, or with any major changes or proposed works to the site.

7.2 Conservation of Heritage Significance

- Policy 2.1 For the House and immediate surrounds, manage the character of the subject site, which is that of a subdivided rural estate, to maintain the dominance of the homestead on the knoll surrounded by landscaped gardens, recreational areas, service buildings and open paddocks punctuated by the straight paddock track from Oran Park Drive. This includes conserving the original setting which relates to the topography, open space towards South Creek and distant views in the vicinity of the house.
- Policy 2.2 Maintain an appropriate heritage curtilage to ensure the significance of the setting of Oran Park House, its recreational areas, service zones (back of house) and landscape elements are conserved, maintained and easily interpreted. The SHR curtilage is appropriate and is maintained in the current proposal.
- Policy 2.3 Do not obscure the significant close and distant views and vistas from various vantage points and approaches to and from the subject site. This includes views from Oran Park Township.
- Policy 2.4 Retain original and early features such as doors, windows, floors, decorative features and walls with appropriate conservation and maintenance.
- Policy 2.5 Undertake regular maintenance on the subject buildings, landscape features and site elements to ensure their longevity.

7.3 Interpretation

- Policy 3.1 Maintain the interpretation of the subject site as a Gentleman's estate with a house precinct, recreational areas, service buildings and open pasture. Any future uses should assist this interpretation.
- Policy 3.2 Undertake and implement an Interpretation Plan and Strategy for the site.
Comment: Practical and concrete strategies for interpretation would be included in an Interpretation Plan and Strategy of the site. It is the purpose of an Interpretation Plan and Interpretation Strategy to determine the themes and messages to be interpreted at the site and the best media to accomplish this. This would include Aboriginal association with the site as well as European associations to the site.

7.4 Archaeological Resource Management

- Policy 4.1 Ensure early fabric of the Coach House, being the first residence of the estate, is respected and retained.
- Policy 4.2 All sub-surface areas below and adjacent to the site buildings and features should be considered to have archaeological potential. Carefully design any new interventions to avoid any disturbance of potential archaeological items located within these areas.
- Policy 4.3 Engage a suitable heritage consultant and archaeologist to assess, record and monitor the works in the event of any disturbance having to take place. Archaeologists must meet the current Heritage Council requirements for an Excavation Director and obtain appropriate approvals, exemptions to or excavations

permits required under Section 57(1) or sections 139-146 of the Heritage Act 1977 prior to any excavation of areas of identified archaeological potential.

- Policy 4.4 Retain any archaeological evidence uncovered on the site in situ.
- Policy 4.5 Appropriately catalogue any archaeological finds retained in situ for future reference.
- Policy 4.6 Assemble, catalogue and safely house any archaeological finds that have been or are in the future uncovered on the site.
- Policy 4.7 Works in the Stage 6 area, especially those that affect the coach house and the area around it, should be subject to a S60 approval so that any evidence of the nineteenth-century use of the property can be recorded.
- Policy 4.8 A program of archaeological monitoring and inspection needs to be undertaken by an appropriately qualified archaeologist for works within the new proposed homestead boundary fence of Oran Park House and within a c.20m radius of the coach house.
- Policy 4.9 An archaeologist should remain on call to respond to unexpected finds in the areas outside of the proposed homestead boundary fence and the vicinity of the coach house.

7.5 Universal Access and Fire Safety

- Policy 5.1 Provide universal access to the House where it will not have adverse impact upon the significant fabric.
- Policy 5.2 Only limited opportunity exists to provide access to Basement and First Floor level from Ground Floor level. Therefore any future use should be chosen in consideration of this potential limitation.
- Policy 5.3 Maintain the fire safety and egress strategy that has been prepared and implemented at the site to provide the least impact to significant fabric whilst still providing for the safe egress of occupants in the event of a fire.

7.6 Conservation of Significant Fabric and Spaces

- Policy 6.1 Unless otherwise stated in these policies, retain and conserve surviving original and early fabric and spaces, particularly fabric and spaces rated of being of exceptional or high significance (refer section 5.4 of this document).
- Policy 6.2 Precede all conservation works by thorough investigation of the building fabric and monitor the works to assess their efficacy and accuracy.

7.7 Intervention in the Fabric

- Policy 7.1 Approach changes to significant fabric with minimal intervention: as much as necessary, as little as possible.
- Policy 7.2 Intervention for purposes other than conservation of the fabric is to occur only in areas of moderate, little or no significance.
- Policy 7.3 Removal of fabric of high significance is to be contemplated only where that fabric has ceased to function and is actively contributing to deterioration in other significant fabric.

Policy 7.4 Record all works to the subject site and buildings in accordance with NSW Heritage Branch archival record guidelines.

7.8 Alterations and Additions to Significant Fabric and Spaces

Policy 8.1 Confine alterations and additions to original or early fabric of the building to:

- the removal of intrusive elements, and elements of little significance that interfere with interpretation, where they are no longer needed
- the removal of elements of little or no significance that are contributing to the deterioration of original or early fabric
- the reinstatement where appropriate of original or early fabric that has since been removed and for which good evidence exists
- works to conserve the existing significant fabric, and
- fully reversible works to adapt the buildings for changing uses as required.

Policy 8.2 Confine alterations and additions to the house to works that are complementary and subservient to the original and early fabric.

Policy 8.3 New elements must respect the existing aesthetic significance of the building.

7.9 New Work, Future Development and Use

Policy 9.1 The policies contained within this document must be applied irrespective of the future uses of the site and buildings.

Policy 9.2 Uses and activities at the site must be compatible with the retention and interpretation of the historical residential uses.

Policy 9.3 The most desirable use for the site would include a prestigious residence, hospitality, offices, estate land sales office, restaurant, art gallery, health retreat or medical centre, commercial offices, in keeping with the traditional uses of the site. Refer Section 6.7.

Policy 9.4 Maintain the character and integrity of the subject site and buildings as a nineteenth century gentleman's estate, modified c1939-40 and c1995, in any future development or enterprise on the site.

Policy 9.5 Strictly limit and control development within and adjoining the Homestead Lot to maintain and continue to enhance the existing functions, landscape character and use.

Policy 9.6 Any future minor structures within the Homestead Lot must not diminish or overwhelm the house. The heritage significance of the house must continue to be maintained by any proposed scheme.

Policy 9.7 New minor structures on the Homestead Lot must be carefully considered, be sympathetic and subservient to the house and must be easily interpretable as new work and not intrude upon the significance of the site.

Policy 9.8 Any future minor structures within the Homestead Lot or within the vicinity of the Homestead Lot must be carefully considered by the appropriate authorities so that the setting of the place is maintained.

Policy 9.9 In developing plans for the future use of the Homestead Lot, the significant external and internal fabric of the subject building and its views and vistas must be conserved to maintain the significance of the site. Refer to Figure 157.

Policy 9.10 The Heritage Exemption Guidelines prepared for inclusion in the gazettal on the State Heritage Register should apply to development within the curtilage but excluding the Homestead Lot. These developments are exempt from NSW Heritage Council Section 60 approvals. Refer to Figure 157, Appendix C and Appendix D.



Figure 157:
 Oran Park outer Heritage Principles plan showing the important view lines and proposed and approved controls surrounding the Homestead Lot in the current residential subdivision of the property. This figure was prepared to inform the Heritage Exemption Guidelines and does not preclude other forms of development.

N↑

Not to scale

7.10 Oran Park House

- Policy 10.1 The house can be adapted and upgraded to today's living standards provided the early configuration is conserved and clearly interpreted, and new interventions are sympathetic to the existing site and context.
- Policy 10.2 Retain the character of the house as it was renovated in the 1930s – c1940 during the Robbins Period and as it still exists today.
- Policy 10.3 Carefully design any new works to the house so as not to interfere with the significance of the subject building and to limit impact on significant fabric.
- Policy 10.4 Retain and conserve extant significant external and internal building fabric in accordance with the levels of significance identified in Section 5.4 Grading of Significance of this CMP.
- Policy 10.5 Retain the Georgian Revival character of the house. No conservation, maintenance or new work shall alter or negatively impact on the external character of the house.
- Policy 10.6 Organise any proposed new services or service upgrades related to any new uses of the house to provide minimal interference with the existing significant fabric. Wherever possible, new services shall follow existing lines to minimise impact upon significant fabric and spaces.
- Policy 10.7 Install any required new services in areas and spaces of lower significance.
- Policy 10.8 Any new interventions to the subject building should be reversible and clearly interpreted – by means of introduced interpretive devices or by method of style of construction – as new work.
- Policy 10.9 Allow the upgrading of existing wet areas. The kitchen should remain in the west wing of the house. Allow the c1995 kitchen and library area to be adapted to new kitchen layout for servicing proposed uses for the place.
- Policy 10.10 Allow for the long-term adaptive reuse of Oran Park House.

7.11 Subject Site including Landscape

- Policy 11.1 Undertake new plantings in accordance with currently acceptable horticultural practices to have minimum impact on extant fabric and surrounding areas.
- Policy 11.2 Wherever possible, propagate new plant stock from existing site plantings.
- Policy 11.3 Ensure species planted on the site are in keeping with those known to have existed in the past on the site or those appropriate to the period and soils.
- Policy 11.4 Significant views and vistas should be retained. Any new plantings or structures should not obscure the cultural, historic or aesthetic significance of the place in a physical or visual way.
- Policy 11.5 Maintain visual link between the House and South Creek.
- Policy 11.6 Reconstruct painted timber garden fencing – arris top rail, strand and wire netting (for rabbit proofing) and gates to inner house lot. Plant with selected hedging.
- Policy 11.7 Reconstruct rose gardens to eastern and western areas of garden.

- Policy 11.8 Any new planting's should be in accordance with available historical information refer to Figure 7.
- Policy 11.9 Maintain eastern paved garden adjacent to the House.
- Policy 11.10 Maintain rose gardens, pond, terrace garden design and carriage loop.
- Policy 11.11 Maintain architectural garden design features.
- Policy 11.12 Adapt south-east driveway and reinforce planting.
- Policy 11.13 Adapt southern driveway as a lane extending from the house garden.
- Policy 11.14 Maintain recreational features of the garden including swimming pool and tennis court.
- Policy 11.15 Reconstruct Tecoma arbour by removing central growth stems and keeping overarching effect.
- Policy 11.16 Allow productive garden including herb garden, orchard and olive grove.
- Policy 11.17 Subservient ancillary structures to northern back of house area could be considered to allow adaptive its re-use.

7.12 Coach House

- Policy 12.1 Ensure early fabric is respected and retained in any development.
- Policy 12.2 The Coach House and surrounding area could be adaptively re-used to allow long-term sustainable use. Re-use in accordance with the Heritage Exemption Guidelines is exempted from approvals for appropriate works (Refer to Catherine Park Estate, Oran Park House Heritage Exemption Guidelines dated October 2014 contained in Appendix C and Catherine Park House Heritage Curtilage Public Domain Strategy dated March 2017 contained in Appendix D). Any re-use and future development that that does not meet the requirements of the Heritage Exemption Guidelines is to address the CMP and will be subject to approvals under the Heritage Act.
- Policy 12.3 Allow rebuilt sections to be adapted for new uses.
- Policy 12.4 Retain and conserve early sections of Coach House brickwork and openings.

7.13 Silo

- Policy 13.1 Retain, conserve and allow adaptive reuse of the Silo for modern functions.
- Policy 13.2 New small scale ancillary buildings maybe be considered adjacent to/attached to Silo for adaptive reuse.

8.0 DESIGN GUIDELINES FOR FUTURE DEVELOPMENT WITHIN THE SHR CURTILAGE

The following guidelines should be incorporated into the design of public spaces and building elements within the SHR Curtilage.

8.1 Landscape Design Considerations – Oran Park House Curtilage Zone

- Guideline 1.1 Perimeter boundary fence. For Oran Park House lot a new perimeter boundary fence should be constructed in a style similar to an existing rural paddock fence, e.g. as exists at Harrington Park. Contemporary or residential fence styles are not appropriate.
- Guideline 1.2 Roadway verge. The proposed roadway verge adjacent to the new perimeter of the Oran Park House lot boundary within the curtilage should not contain a pedestrian footpath. The installation of a pedestrian footpath around the perimeter of the 'rural' grounds is not appropriate. Pathways linking community facilities with roads and paths is permissible.
- Guideline 1.3 Perimeter landscape boundary barrier. A landscape planting barrier/hedge maximum 1200mm high (e.g. Photinia spp.) should be planted around the new perimeter boundary of Oran Park House. This will aid in protecting the heritage values of Oran Park House by creating a visual barrier between the house lot and the surrounding new development, thereby reducing the visual impact of new adjacent dwellings when viewed from Oran Park grounds.
- Guideline 1.4 Vistas from Oran Park House. The vistas from Oran Park House (e.g. from entry portico and internal rooms) to the former Coach House and adjacent wetlands at South Creek should not be obscured. A low height solid barrier could be introduced to the edge of the carriage loop turning circle to balance the existing masonry walls that are part of the swimming pool enclosure on the western edge.
- Guideline 1.5 Existing pasture. The existing pasture adjacent the Oran Park House garden boundary and existing lawn areas (to immediate curtilage) should be retained and maintained. They should not be planted out with trees and shrubs as this would confuse the delineation between the house garden and surrounding landscape within the curtilage. Installation of an orchard and vines would be appropriate as homogenous ground landscape is maintained.
- Guideline 1.6 Silo. New small scale buildings adjacent/attached to the Silo would be permissible. This will complement the silo and allow for adaptive reuse of this structure.
- Guideline 1.7 Rainwater tanks and stands. The existing elevated rainwater tanks and stands should be retained and maintained. They may be adapted as required.
- Guideline 1.8 Existing gravel driveway. The gravelled surface to the carriage loop/driveway should be retained and maintained where possible.
- Guideline 1.9 Coach House. The Coach House has been modified a number of times since it was constructed in c1837. It is capable of adaptation and could be sympathetically developed and adaptively reused for a local activity centre in the new subdivision development of the estate.

8.2 Urban Design Considerations for Proposed Houses within the Curtilage

- Guideline 2.1 Pedestrian footpath. The paving should provide interpretation of the Oran Park heritage curtilage area to differentiate the Oran Park House heritage curtilage from the adjacent subdivision dwellings. Paving will be constructed on the new dwellings side of the road, not on the Oran Park House lot.
- Guideline 2.2 Front fences. Treatment to the front fences of the proposed housing is to be recessive to differentiate the Oran Park House heritage curtilage from the adjacent subdivision dwellings.
- Guideline 2.3 Street trees. Street tree species of the proposed housing development are to be chosen as set out in the Oran Park House Heritage Curtilage Public Domain Strategy to differentiate the Oran Park House heritage curtilage from the adjacent subdivision dwellings.
- Guideline 2.4 Street crossovers. Garage driveways may be double width to match proposed garage entry door design.
- Guideline 2.5 Street Block: Architect Review. Each street block within the proposed lots will be architecturally reviewed to assist in elevating the aesthetic value of dwellings located within the Heritage Curtilage.
- Guideline 2.6 Roofing colours & materials. The proposed housing roofing colours should be neutral colour tones (e.g. greys, greens, browns, dark tones) and could be either tiles or corrugated roofing materials.
- Guideline 2.7 Roof form. The proposed housing dwellings should have pitched roofs (25 degrees + or – 5 degrees) and they should be hipped or gabled with large eave overhangs.
- Guideline 2.8 Wall materials. The proposed housing should have face brickwork or rendered textures in neutral colours. The design should incorporate shadow lines. Red bricks are inappropriate and do not blend in with surrounding natural landscapes. Rumbled bricks are not appropriate.
- Guideline 2.9 Facade treatments. The proposed housing should include the following façade treatments:
- a) They should be recessive
 - b) Include balconies
 - c) Be articulated
 - d) Include contemporary window treatments, aluminium or timber frames in neutral colours; and
 - e) have front doors with side lights.
- Colonial style window treatments are not appropriate.
- Guideline 2.10 Entry Portico. Entry porticos of the integrated development dwellings should be of a contemporary design. Colonial style columns are not appropriate.

9.0 IMPLEMENTATION STRATEGY

This implementation strategy is not comprehensive, rather it is intended as a set of requirements for the implementation of the conservation policy. Any other proposals for the site shall comply with the conservation policies contained in Section 7.0 of this report.

9.1 Strategies for Conservation Management

- 9.1.1 Adopt this Conservation Management Plan and the recommendations and policies contained herein.
- 9.1.2 General conservation works must be undertaken on a regular basis to prevent deterioration of the significant fabric of the subject buildings.
- 9.1.3 Manage the subject site in a way that allows the maximum amount of this Conservation Management Policy (refer Section 7.0 of this report) to be implemented.
- 9.1.4 Personnel skilled in disciplines of conservation practice shall be engaged as appropriate to advise on both minor and major works and implement conservation aspects at the site.
- 9.1.5 The relevant consent authorities must be contacted and approval obtained prior to any works taking place.
- 9.1.6 Following on from the Conservation Management Plan, the plans, documents and guidelines tabulated below shall be prepared as required and made available to persons involved in the care and conservation of the site.

| Document | Objective/Comment | Priority | Timeframe |
|---|---|----------|---|
| Schedule of Works | A Schedule of Works will ascertain the prioritised conservation and new works required to be undertaken. | High | Commencement of project. This has been prepared and is enclosed in Appendix B of this report. |
| Maintenance Plan | A Maintenance Plan details the cyclical maintenance tasks required to ensure the house, grounds, structures and garden elements do not deteriorate. | High | After works are completed |
| Interpretation Plan and Interpretation Strategy | The subject site is of heritage significance to the development of the Camden Local Government area and this should be interpreted to the public. An Interpretation Plan on the site would determine the themes and messages to be interpreted at the site and the best media to accomplish this. The Interpretation Strategy would develop the Interpretation Plan and prioritise the proposed interpretation works and appropriate media. | Medium | Within 1 – 2 years |
| Photographic Archival records | The purpose of an archival record is to record the heritage item before, during and after any proposed works to document the heritage item and any changes made. NSW Heritage Branch guidelines shall be followed. | — | As major works take place – before, during and after works |
| Heritage Impact Statements | Heritage Impact Statements will be required to accompany any development applications for the site. | — | To accompany development proposals within the curtilage |

| Document | Objective/Comment | Priority | Timeframe |
|---|--|-------------|---|
| Archaeological Watching Brief & Excavation Permit | A watching brief and excavation permit will be required should there be a proposal to disturb any potential archaeological resource on the property. | As required | To accompany development proposals where subsurface areas are disturbed |
| Public Domain Plan | Landscape treatments within and around the site must be carefully considered and controlled so as not to detract from the significance of the place. | Medium | As subdivision development works commence |

9.2 Strategies for Future Works

9.2.1 All works shall be carried out in accordance with the conservation policies contained in Section 7.0 of this report.

9.3 Strategies for Maintenance

9.3.1 General maintenance shall be undertaken on a regular basis, including regular inspection and repair.

9.3.2 A Schedule of Works and Maintenance Plan should be prepared prioritising works and detailing cyclical maintenance works necessary to undertake to avoid deterioration of and damage to significant fabric. Note: A schedule has been prepared and is enclosed in Appendix B of this report.

9.3.3 Any urgent repairs required shall be undertaken immediately to prevent deterioration to significant fabric. Note: Urgent and safety works have been undertaken.

9.4 Strategies for Management of Future Development

9.4.1 This Conservation Management Plan shall be consulted and specific proposals for the site assessed in the light of what is recommended in previous sections of these policies.

9.4.2 The feasibility of the options listed in Section 6.7 of this report shall be investigated with close reference to the constraints and requirements of this Conservation Management Plan and the conservation policies contained in Section 7.0 of this report.

9.4.3 Any future development of the site shall respect the significance of Oran Park House, its bulk, scale, setting and significant view lines and the configuration of the gardens, recreational areas and service zones.

9.5 Strategies for Public Domain Framework

9.5.1 Works to the Public Domain should be in accordance with the Catherine Park Estate, Oran Park House Heritage Exemption Guidelines dated October 2014 contained in Appendix C and Catherine Park House Heritage Curtilage Public Domain Strategy dated March 2017 contained in Appendix D.

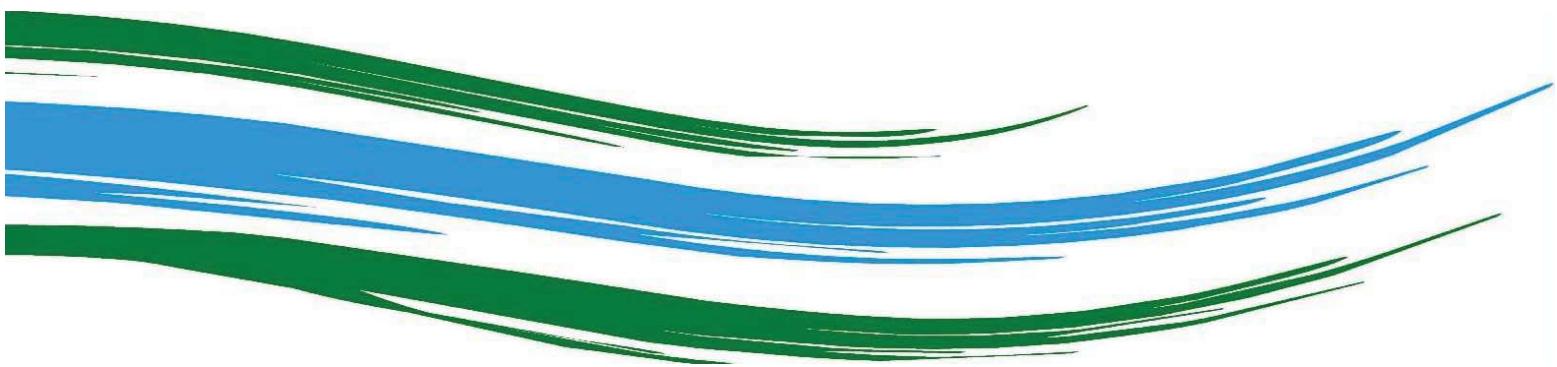
Appendix 8: Camden Local Planning Panel Minutes – 21 April 2020



Camden Local Planning Panel

Closed Meeting Minutes
21 April 2020

Meeting held by Teleconference



CLOSED CAMDEN LOCAL PLANNING PANEL MEETING

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PRESENT

Penny Holloway (Chairperson), Michael File (Expert Panel Member), Mary-Lynne Taylor (Expert Panel Member), Debby Dewbery (Community Representative – South Ward)

ALSO IN ATTENDANCE

Governance Officer – Panel and Committees

DECLARATIONS OF INTEREST

There were no declarations to be noted.

CCLPP01 415 - 495 COBBITTY ROAD, COBBITTY PLANNING PROPOSAL

PANEL RECOMMENDATION

The Camden Local Planning Panel has considered that the draft Planning Proposal and supports the Council officer's report.

It is considered that the Proposal does not demonstrate strategic planning merit and site-specific merit to proceed to Gateway Determination.

The Panel considers it would be unwise at this stage to allow further fragmentation of rural lands given the uncertainty of the location of the proposed Outer Sydney Orbital.

The proposed Lot sizes are inconsistent with the rural character of the area and inconsistent with the objectives of the E4 zone.

Council should now have regard to the medium and long term future use of this land and an appropriate land use that reflects its aspirations of future character.

VOTING NUMBERS

The Panel voted 4-0 in favour of the recommendation.

CCLPP02 PLANNING PROPOSAL FOR STATE ENVIRONMENTAL PLANNING POLICY (SYDNEY REGION GROWTH CENTRES) 2006 – HOUSEKEEPING AMENDMENT

PANEL RECOMMENDATION

The Camden Local Planning Panel has considered the draft Planning Proposal and supports the Council officer's report.

The Panel supports the proposal being forwarded for Gateway Determination.

VOTING NUMBERS

The Panel voted 4-0 in favour of the recommendation.

Appendix 9: Camden Council Meeting Report and Minutes – 26 May 2020

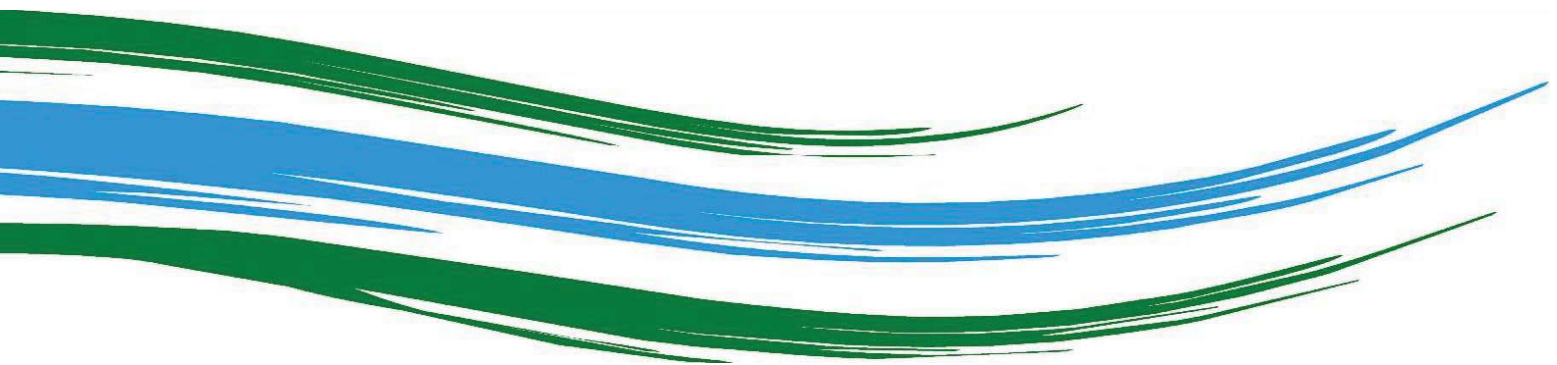


Camden Council

Business Paper

Ordinary Council Meeting 26 May 2020

Please note due to COVID-19 restrictions this meeting is being held as a teleconference. The public can view the meeting via Council's webcast. A link to this webcast can be found on Council's webpage – <http://webcast.camden.nsw.gov.au/video.php>





ORDINARY COUNCIL

ORD02

SUBJECT: PLANNING PROPOSAL - HOUSEKEEPING AMENDMENT TO STATE ENVIRONMENTAL PLANNING POLICY (SYDNEY REGION GROWTH CENTRES) 2006

FROM: Director Planning and Environment

TRIM #: 20/114690

PURPOSE OF REPORT

The purpose of this report is to advise Council of a draft Planning Proposal to make housekeeping amendments to clauses and maps in the State Environmental Planning Policy (Sydney Region Growth Centres) 2006 (Growth Centres SEPP), and to recommend the draft Planning Proposal be forwarded to the Department of Planning, Industry and Environment (DPIE) for a Gateway Determination.

The draft Planning Proposal is provided as an **attachment** to this report.

BACKGROUND

In 2006, the Growth Centres SEPP was made. The Growth Centres SEPP provides the statutory planning controls to facilitate development across the South West Growth Area (SWGA) and the North West Growth Area (NWGA).

Currently, two appendices of the Growth Centres SEPP apply to the Camden Local Government Area (LGA):

- *Appendix 1 – Oran Park and Turner Road Precinct* was inserted into the Growth Centres SEPP in 2007; the area to which Appendix 1 relates is shown in **Figure 1**; and
- *Appendix 9 – Camden Growth Centres* was inserted into the Growth Centres SEPP in 2013; the area to which Appendix 9 currently relates is shown in **Figure 1**.

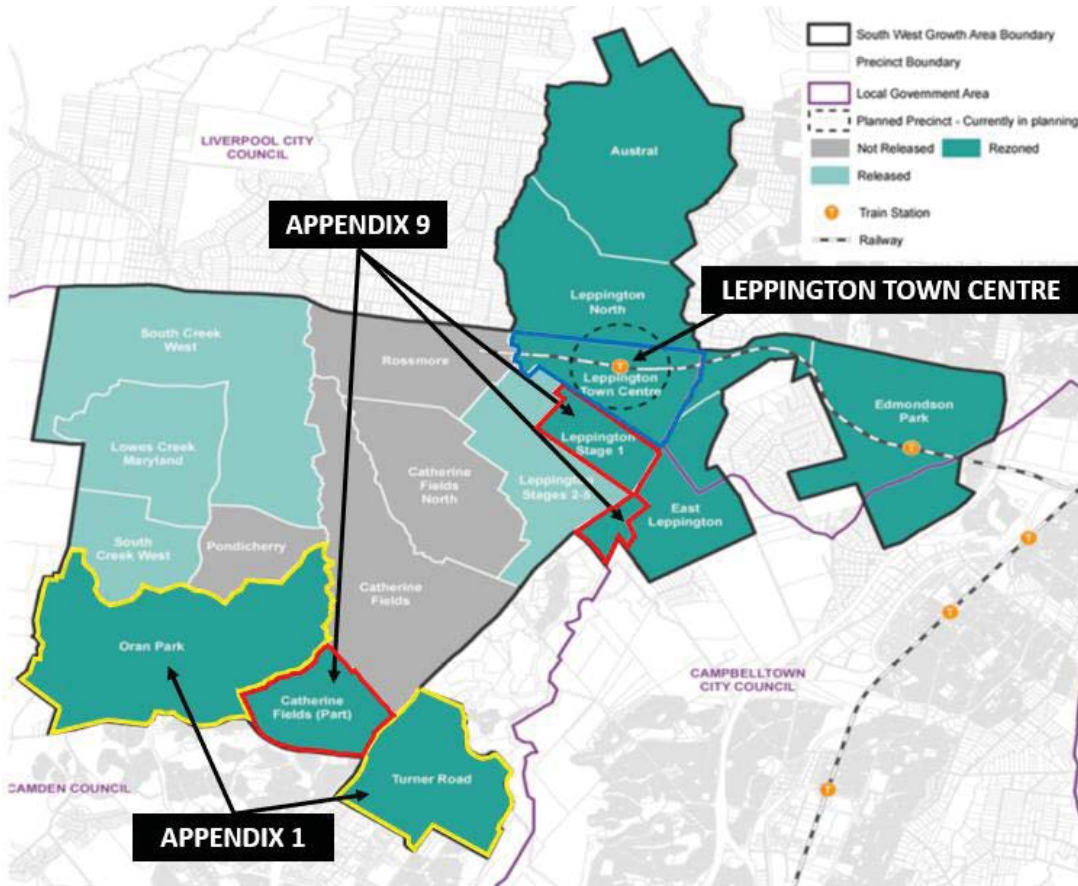


Figure 1: Camden’s South West Growth Areas

There have been a number of amendments to the clauses and maps pertaining to Appendix 1 and Appendix 9 since their inclusion in the Growth Centres SEPP. These have included:

- Correcting heritage-listed items;
- Inserting new controls for the size of secondary dwellings;
- Replacing the definition for ‘net development area’;
- Adding permissible land uses to the R2 Low Density Zone; and
- Various zone mapping amendments to facilitate development proposals.

A housekeeping review of these Appendices has been undertaken to address minor updates, anomalies and omissions. This review has identified a number of minor anomalies including:

- Incorrect street names being referenced;
- Zoning maps not reflecting existing land uses;
- The application of land zoning not aligning with lot or road boundaries; and
- The Camden and Campbelltown LGA boundaries not being accurately reflected in the Growth Centres SEPP.

Councillors were briefed on the draft Planning Proposal on 9 April 2020.



The Planning Proposal

This draft Planning Proposal was initiated by Council officers to resolve minor anomalies, improve the readability and clarity of clauses, and ensure consistency between Appendix 1 and Appendix 9 of the Growth Centres SEPP. Whilst Council officers are preparing the draft Planning Proposal to amend the SEPP, it has been undertaken with DPIE's knowledge and support.

Notably, this draft Planning Proposal does not seek to amend clauses and maps relating to the Leppington Town Centre Precinct as these will be captured under the Leppington Town Centre Review that is currently underway.

On Tuesday, 21 April 2020, the Camden Local Planning Panel (Panel) reviewed the draft Planning Proposal and provided advice, which is discussed later in this report and provided as an **attachment** to this report.

MAIN REPORT

Summary of the Proposal

The draft Planning Proposal includes a number of amendments to Appendix 1 and 9 of the Growth Centres SEPP, summarised as follows:

- Zoning of Water Infrastructure;
- Review of building height controls around the curtilage of Oran Park House (Catherine Field Part Precinct); and
- Miscellaneous administrative amendments to Appendix 1 and 9 Clauses and Mapping.

An analysis of the amendments sought by the draft proposal is provided in Appendix 5 of **attached** draft Planning Proposal. A summary of the proposed amendments is provided below.

Zoning for Water Infrastructure

Council has received correspondence from Sydney Water seeking to rezone several sites in their ownership to SP2 – Infrastructure. This request reflects the ongoing use of these sites as permanent infrastructure associated with the provision of water and sewer services.

The sites located across the Camden LGA are currently zoned in accordance with the adjoining zoning (R1 General Residential, B5 Business Development and RE2 Private Recreation). The existing zoning of these sites can cause confusion as to the ongoing use of the site as permanent water or sewer infrastructure. Rezoning the sites to SP2 - Infrastructure will provide clarity to the community for their intended use as permanent infrastructure.

Details of the proposed sites are outlined in **Table 1**.

| Site Address | Suburb | Current zoning | Proposed zoning | Lot | DP | Site use |
|-----------------------|-----------------|----------------|-----------------|------|---------|------------|
| G The Northern Road | Oran Park | R1 | SP2 | 9019 | 1178579 | Sewer pump |
| 14 Digitaria Drive | Gledswood Hills | B5 | SP2 | 843 | 1203105 | Water pump |
| 668 Camden Valley Way | Gledswood Hills | B5 and RE2 | SP2 | 700 | 1154772 | Sewer pump |
| 61A Cowpasture Road | Leppington | B5 | SP2 | 1001 | 1197989 | Sewer pump |

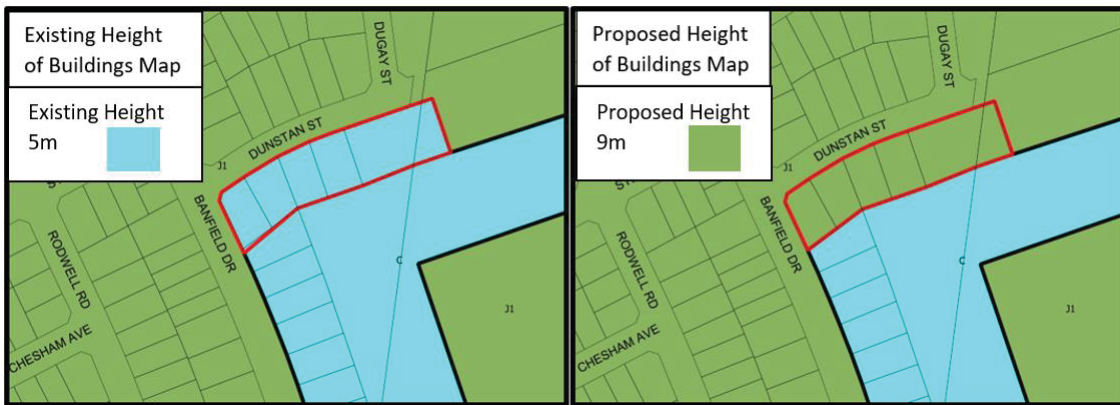
Table 1: Sydney Water sites to be amended within the Growth Centres SEPP Housekeeping Amendment

Review of Building Heights around the curtilage of Oran Park House

On 19 May 2019, the NSW Heritage Council (formerly the NSW Office of Environment and Heritage) endorsed a Heritage Conservation Management Plan (CMP) for the state heritage-listed Oran Park House (also referred to as Catherine Park House).

The current height of buildings map in the Growth Centres SEPP is inconsistent with the heritage view lines identified in the CMP and the curtilage of state heritage item. It is proposed to amend the Growth Centres SEPP to remove this anomaly by amending the building heights from 5 metres to 9 metres as shown in **Map 1** below.

The CMP is provided as Appendix 7 of the **attached** Planning Proposal.



Map 1: Current and proposed building heights Oran Park House Curtilage

Miscellaneous Administrative amendments to Instrument Clauses

The miscellaneous administrative amendments to the Growth Centres SEPP clauses fall within the following categories:

- Amendments to both Appendix 1 and Appendix 9;
- Amendments to Appendix 1 - Oran Park and Tuner Road; and
- Amendment to Appendix 9 – Camden Growth Centres Precinct.



Amendments to both Appendix 1 and Appendix 9

Review of Minimum Subdivision lot size

The draft proposal seeks to rectify an inconsistency between the Growth Centres SEPP and the Standard Instrument. In 2018, the Standard Instrument (Local Environmental Plans) Order 2006 (the Standard Instrument) was amended to clarify that the lots under a strata plan or community title scheme are not required to meet the minimum lot size shown on the applicable lot size of an LEP. The amendment to the Standard Instrument was not carried across to the Growth Centres SEPP. To correct this anomaly, clause 4.1(4) of the Growth Centres SEPP is proposed to be amended.

Studio Dwelling – Additional local provisions

The draft proposal seeks to strengthen the provisions for studio dwellings to make it clear that studio dwellings must be located at the rear of a lot. To achieve this objective, it is proposed to add an additional clause to Appendix 1 (newly proposed clause 6.7) and Appendix 9 (newly proposed clause 6.8).

Inconsistencies between Appendix 1 – Oran Park and Turner Road Precinct and Appendix 9 – Camden Growth Centre Precinct

The draft proposal seeks to resolve inconsistencies between clauses located within Appendix 1 and Appendix 9 of the Growth Centres SEPP. Resolution of these inconsistencies will provide clarity and consistency for provisions that apply across precincts within the SWGA. Part 1 and Part 2 of both Appendices are proposed to be updated to ensure consistency. The proposed amendments include updating the Aims of the Precinct Plans, adding notes to clauses, updating subdivision consent requirements and amending clause 2.8 temporary use of land.

Amendments to Appendix 1 – Oran Park and Turner Road

Corrections to clause 4.3 of Appendix 1

Clause 4.3 – Height of buildings in Appendix 1 of the Growth Centres SEPP identifies that height being calculated from finished ground level. This reference conflicts with the building height definition, which states that building height is to be taken from existing ground level. The draft proposal seeks to correct this anomaly.

Subclause 4.3(5) references Badgally Road and the East West Road (as shown in the Oran Park Precinct Development Control Plan and the Turner Road Precinct Development Control Plan). These local roads have since been named 'Gregory Hills Drive' and 'Dick Johnson Drive' respectively. The draft proposal seeks to update these road names in all relevant maps and clauses in the Growth Centres SEPP.

To ensure development is carried out in accordance with the intent of this subclause, the phrase 'to land fronting Zone RE1 Public Recreation or Zone RE2 Private Recreation' is proposed to be inserted in subclause 4.3(5).

Amendment to Appendix 9 – Camden Growth Centres Precinct

Exceptions to minimum lot sizes for dwelling house on small lots

The draft proposal seeks to amend *Appendix 9* - clause 4.1AF (1) to remove unnecessary words and improve the readability of this clause.

Miscellaneous Amendments to Appendix 1 and 9 maps

The miscellaneous amendments to the Growth Centres SEPP maps fall within the following categories:

- General zone mapping anomalies;
- Land application map amendment;
- SEPP Boundary adjustment;
- Rezone remnant land zoned SP2 - Infrastructure (part Lot 6 DP1235000); and
- Height restriction over Ingleburn Road, Leppington.

General Zone Mapping Anomalies

The draft proposal seeks to rectify zoning anomalies in the Growth Centres SEPP by aligning the zoning to lot and road boundaries. This will remove unzoned land and lots that have been incorrectly dual zoned. Some examples of the anomalies include:

- The widening of the SP2 Infrastructure zone along Oran Park Drive;
- Updating the zoning of the RE1 public recreation on Skaife Drive, Oran Park,
- Correctly reflecting residential zonings within Oran Park; and
- Updated zoning within the B5 Zone in Gregory Hills to reflect the correct property boundaries.

Land Application Map Amendment

In 2017, Amendment No. 39 to Camden Local Environmental Plan 2010 (Camden LEP) was made. This amendment realigned the boundary between the Camden and Campbelltown LGAs to address a historic anomaly. The draft proposal seeks to amend the Growth Centres SEPP to reflect the current LGA boundary alignment.

Rezone remnant land zoned SP2 - Infrastructure (part Lot 6, DP1235000)

The draft proposal seeks to rezone a 260m² portion of land (part Lot 6 DP 1235000) in the Catherine Field (Part 1) Precinct from SP2 – Infrastructure (Classified road) to R3 Medium Density Residential. This land, located on the corner of Camden Valley Way and Oran Park Drive, was identified for intersection widening.

NSW Roads and Maritime Services (RMS) and Council officers have confirmed that this land is no longer required for this purpose. It is intended to consolidate this land as part of the planning and design of the adjoining residential development in Ascot Grove.

Height Restriction over Ingleburn Road, Leppington

The draft proposal seeks to remove a 12 metre height restriction from a portion of Ingleburn Road, Leppington. The subject land, formerly part of Lot 76, DP 1180577, now forms part of Ingleburn Road following the widening and upgrade of the Camden Valley Way and Ingleburn Road intersection. The draft proposal seeks to correct this anomaly.



Assessment against Key Strategic Documents

An assessment against the Key Strategic Documents is provided as an **attachment** to this report and are summarised below.

Greater Sydney Region Plan

The Greater Sydney Region Plan (Region Plan) was released by the Greater Sydney Commission (GSC) on 18 March 2018. The Region Plan has a vision and plan to manage growth and change for Greater Sydney in the context of economic, social and environmental matters.

The draft Planning Proposal is consistent with the following relevant direction and objective of the Region Plan:

- Direction 3: A city for people – celebrating diversity and putting people at the heart of planning.
- Objective 11: Housing is more diverse and affordable.

Western City District Plan

The Western City District Plan (District Plan) was released by the GSC on 18 March 2018. The District Plan guides the 20-year growth of the district to improve its social, economic and environmental assets.

The draft Planning Proposal is consistent with the following priorities of the District Plan:

- Planning Priority W1: Planning for a city supported by infrastructure.
- Planning Priority W5: Providing housing supply, choice and affordability, with access to jobs, services and public transport.
- Planning Priority W16: Protecting and enhancing scenic and cultural landscapes.

Camden Local Strategic Planning Statement (LSPS)

The Camden Local Strategic Planning Statement (LSPS) is a 20-year planning vision, emphasising land use, transport and sustainability objectives to demonstrate how Camden LGA will change to meet the community's needs over the next 20 years.

The draft Planning Proposal has been assessed against the relevant Local Priorities and Actions of the LSPS and is consistent with the following Local Priorities:

- Local Priority I1: Aligning infrastructure delivery with growth.
- Local Priority L1: Providing housing choice and affordability for Camden's growing and changing population.
- Local Priority L2: Celebrating and respecting Camden's proud heritage.

Camden Community Strategic Plan

The Camden Community Strategic Plan (CSP) seeks to actively manage Camden LGA's growth by retaining Camden's heritage sites, scenic vistas and cultural landscapes.

The draft Planning Proposal is consistent with the following relevant Direction of the CSP:

- Key Direction 1: Actively Managing Camden LGA's Growth. Relevant objective 1.1 Urban development is managed effectively.

Camden Local Planning Panel

From 1 June 2018, Planning Proposals are required to be referred to the Camden Local Planning Panel (the Panel) for advice pursuant to the Ministerial Direction under Section 9.1 of the *Environmental Planning and Assessment Act 1979*.

The draft Planning Proposal was reported to the Panel on 21 April 2020. The Panel voted in favour of supporting the Planning Proposal being forwarded to the Department of Planning, Industry and Environment (DPIE) for a Gateway Determination. No further recommendations were made by the Panel.

The Panel's recommendations are provided as an **attachment** to this report.

Assessment of Planning Merit

The draft Planning Proposal has been prepared with consideration of key strategic documents, including the Greater Sydney Region Plan, the Western City District Plan, the Community Strategic Plan, and the Camden Local Strategic Planning Statement.

It is considered that the proposal demonstrates sufficient planning merit to proceed to Gateway Determination as it:

- Aligns with the strategic directions and objectives of the Greater Sydney Region and Western City District Plans, the Camden Community Strategic Plan, and the Camden Local Strategic Planning Statement; and
- The proposed amendments seek to update superseded information and correct anomalies within the clauses and maps of the Growth Centres SEPP to deliver better urban design outcomes by ensuring the intent of controls are clear.

Next Steps

Subject to Council endorsement, the draft Planning Proposal will be submitted to the Department of Planning, Industry and Environment (DPIE) for a Gateway Determination. If a favourable Gateway Determination is received, the draft Planning Proposal will be placed on public exhibition in accordance with the conditions in the Gateway Determination.

A further report will be submitted to Council upon completion of the public exhibition if unresolved submissions are received.

FINANCIAL IMPLICATIONS

There are no financial implications for Council as a result of this report.



CONCLUSION

The draft Planning Proposal seeks to amend clauses and maps pertaining the Appendix 1 and Appendix 9 of the Growth Centres SEPP. The purpose of this draft Planning Proposal is to resolve minor anomalies, improve readability and clarity of clauses, ensure consistency between Appendix 1 and Appendix 9 and to deliver better urban design outcomes in line with the objectives of the Growth Centres SEPP.

Council officers have assessed the draft Planning Proposal and consider the proposal demonstrates planning merit to proceed to Gateway Determination, as outlined in this report.

RECOMMENDED

That Council:

- i. endorse the draft Planning Proposal for State Environmental Planning Policy (Sydney Region Growth Centres) 2006 - Housekeeping Amendment to be forwarded to the Department of Planning, Industry and Environment for Gateway Determination;**
- ii. subject to a favourable Gateway Determination from the Department of Planning, Industry and Environment, proceed to public exhibition in accordance with the requirements of the Gateway Determination;**
- iii. subject to no unresolved submissions being received, forward the draft Planning Proposal for State Environmental Planning Policy (Sydney Region Growth Centres) 2006 - Housekeeping Amendment to the Department of Planning, Industry and Environment for the plan to be made; and**
- iv. if unresolved submissions are received, consider a further report outlining the results of the public exhibition.**

ATTACHMENTS

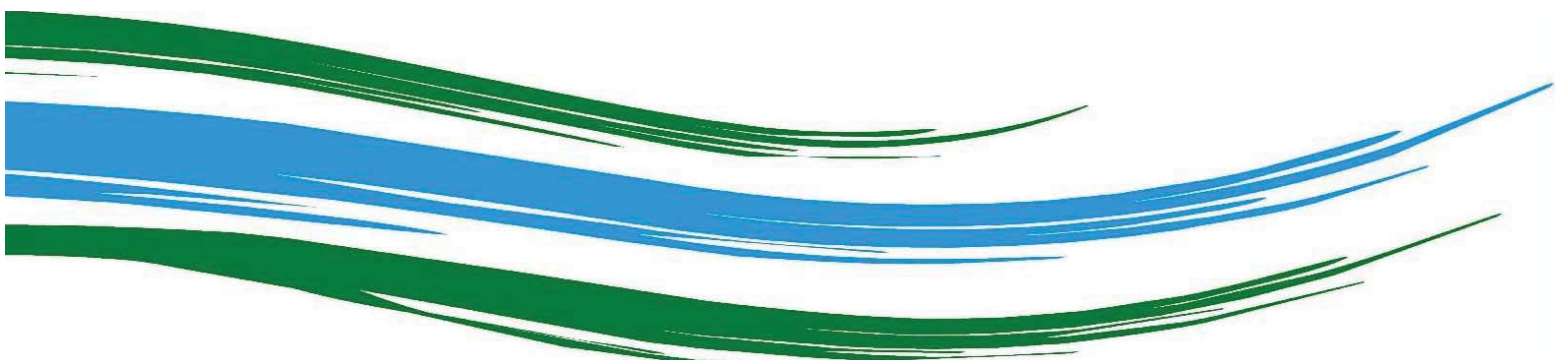
1. 2020 Housekeeping Amendment to the Growth Centres SEPP 2006 - Planning Proposal
2. Housekeeping Amendment to the Growth Centres SEPP 2006 - Strategic Documents Assessment
3. CLPP Resolution - SEPP



Camden Council Minutes

Ordinary Council Meeting
26 May 2020

Please note that due to COVID-19 restrictions this meeting was held as a teleconference. The public can view the meeting via Council's website.



ORDINARY COUNCIL

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**ORD01 PLANNING PROPOSAL - 220 MACQUARIE GROVE ROAD, KIRKHAM
AMENDMENT**

Resolution: Moved Councillor Fedeli, Seconded Councillor Farrow that Council note that the planning proposal has been withdrawn by the proponent.

ORD60/20 THE MOTION ON BEING PUT WAS **CARRIED**

(Councillors Sidgreaves, Symkowiak, Campbell, Fedeli, C Cagney, A Cagney, Farrow and Morrison voted in favour of the Motion. No Councillors voted against the Motion.)

**ORD02 PLANNING PROPOSAL - HOUSEKEEPING AMENDMENT TO STATE
ENVIRONMENTAL PLANNING POLICY (SYDNEY REGION GROWTH
CENTRES) 2006**

Resolution: Moved Councillor C Cagney, Seconded Councillor Sidgreaves that Council:

- i. endorse the draft Planning Proposal for State Environmental Planning Policy (Sydney Region Growth Centres) 2006 - Housekeeping Amendment to be forwarded to the Department of Planning, Industry and Environment for Gateway Determination;
- ii. subject to a favourable Gateway Determination from the Department of Planning, Industry and Environment, proceed to public exhibition in accordance with the requirements of the Gateway Determination;
- iii. subject to no unresolved submissions being received, forward the draft Planning Proposal for State Environmental Planning Policy (Sydney Region Growth Centres) 2006 - Housekeeping Amendment to the Department of Planning, Industry and Environment for the plan to be made; and
- iv. if unresolved submissions are received, consider a further report outlining the results of the public exhibition.

ORD61/20 THE MOTION ON BEING PUT WAS **CARRIED**

(Councillors Sidgreaves, Symkowiak, Campbell, Fedeli, C Cagney, A Cagney, Farrow and Morrison voted in favour of the Motion. No Councillors voted against the Motion.)

**ORD03 PROPOSED AMENDMENT TO CAMDEN GROWTH CENTRE
PRECINCTS DEVELOPMENT CONTROL PLAN - SCHEDULE 4
CATHERINE FIELD (PART) PRECINCT**

Resolution: Moved Councillor C Cagney, Seconded Councillor Symkowiak that Council:

- i. endorse the draft amendment to Camden Growth Centre Precincts Development Control Plan – Schedule 4 Catherine Field (Part) Precinct;
- ii. exhibit the draft amendment to Camden Growth Centre Precincts Development Control Plan – Schedule 4 Catherine Field (Part) Precinct for an extended period of 42 days, generally in accordance with the provisions of the *Environmental Planning and Assessment Act 1979* and Regulations;
- iii. notify the Department of Planning, Industry and Environment of the exhibition of Camden Growth Centre Precincts Development Control Plan – Schedule 4 Catherine Field (Part) Precinct in accordance with the amended delegations issued by the Secretary of the Department of Planning, Industry and Environment on 19 January 2015;